



**TENTATIVE AGENDA  
MAY 13, 2026 6:00 P.M.  
ARCHITECTURAL REVIEW BOARD**

- 
- I. MEETING CALLED TO ORDER
  - II. ROLL CALL
  - III. APPROVAL OF MINUTES: APRIL 8, 2026
  - IV. REVIEW OF PLANS FOR A HOME ADDITION, JAY AND GLORIA JARVIS,  
305 N. SAPPINGTON ROAD
  - V. MISCELLANEOUS
  - VI. ADJOURNMENT

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Gabrielle Macaluso  
Community Engagement Officer

POSTED: 3:30 p.m., May 8, 2026



**MINUTES**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**April 8, 2026 – 7:07 p.m.**

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**CALL TO ORDER**

A meeting of the Architectural Review Board (ARB) of the City of Glendale was held on Wednesday, April 8, 2026. Chairman Fernhoff presided and called the meeting to order at 7:07 p.m.

**ROLL CALL**

Members Present

Members Absent

Chairman Fernhoff  
Laura Switzer  
Mike Moran  
Reed Voorhees  
Brad Weitekamp  
Jon Emert  
John Falk

Also present were Frank Johnson, City Administrator; Gabby Wesche, Community Engagement Officer; and Kate Henry, City Attorney

**APPROVAL OF MINUTES**

Mr. Voorhees moved to approve the minutes from the March 11, 2026, meeting. The motion was seconded by Mr. Weitekamp and unanimously carried.

**REVIEW OF PLANS FOR A NEW HOME – Steve and Cindi Wendling, 4 Parkland Ave.**

Chairman Fernhoff introduced the project at 4 Parkland Ave. and invited the applicant to present. The project was presented by Charlie Brennan, Chief Operating Officer with McKelvey Homes; the property owner, Cindi Wendling; and Mark Scheipeter with The Drafting Team, LLC.

Chairman Fernhoff asked why the homeowner is tearing down the home. Ms. Wendling explained that she has owned the existing home for 23 years and the property has been a money pit with structural and water issues.

**Drainage**

The ARB members noted the planned drywell. They also noted that the adjoining properties sit higher than the subject property.

Mr. Weitekamp advised that the applicant add area inlets along the stretch in the north side yard from the AC unit to the drywell to keep the water moving.

## **Landscaping**

Ms. Wendling clarified that the pin oak tree will be removed due to damage sustained by excessive trimming by Ameren due to its proximity to the powerlines.

Mr. Weitekamp noted the landscaping plan sheet numbering needs to be adjusted. He also advised that the shrub species and variety noted on the plan should be specified.

The members noted that the applicant should reevaluate the tree locations on the north side of the house because their proposed location is on top of utility lines and could inhibit water movement.

The homeowner noted that the fence will stay and the ARB advised that it be shown on the plan. She also confirmed that the underground powerlines would be new.

The ARB advised that the civil and landscape plans be updated to show the number of steps at the door that exits to Lockwood Ave.

## **Architecture**

Mr. Moran asked about the asymmetrical gable to the right of the garage doors on the side of the home facing Lockwood Ave. The applicant explained that the truss design requires this asymmetrical look; otherwise, they would lose the crisp roofline along the Parkwood Ave. side of the house, which is the front-facing side of the home.

Both Mr. Moran and Mr. Voorhees expressed concerns about the asymmetrical gable and encouraged the applicant to configure a new design that is more symmetrical and consistent with the rest of the home's design.

Ms. Switzer noted that the dormer above the office needs to be added to the roof plan.

Mr. Weitekamp suggested slightly wider steps with a handrail at the side door that exits at Lockwood Ave. The homeowner expressed concerns that making this doorway more prominent would make the door look like a front door. Mr. Scheipeter agreed with Mr. Weitekamp's suggestion and thought he could redesign it in such a way to make the steps wider, but avoid the door being mistaken for a front door. The homeowner was okay with this change.

Mr. Voorhees and Mr. Moran expressed concerns about the east elevation looking out of place with the rest of the home in the sense that the covered porch looks insubstantial compared to the rest of the house.

After assessing the stone and Hardie siding to be used, they determined that the materials would add more structure to the aesthetic.

The ARB members expressed approval of the driveway being wider than permitted in the guidelines since it is located on the home's side yard and adjacent to Lockwood Ave.

Mr. Johnson noted that the city's engineer said that St. Louis County requires permits for curb cuts on their roadways and advised the applicant to begin that process soon for the driveway.

Mr. Weitekamp expressed appreciation for the provision of the elevations of the neighboring properties. Mr. Johnson said he would use this as an example for other applications.

Ms. Henry clarified that the ARB has approved the project's Floor Area Ratio (FAR) even though it exceeds the maximum allowable FAR by 47 feet. The ARB clarified that FAR exceptions are granted at their discretion when extraordinary design considerations exist.

**Mr. Moran moved to approve the applicant's design with the following conditions:**

- Relabel the landscape drawing as to not duplicate the civil drawing.
- Select the species and variety of the shrubs listed in the planting schedule.
- Coordinate the evergreen trees over the gas lines in the planting beds at the northwest corner and the evergreen tree over the underground electric line at the southeast corner of the property.
- Update the civil and landscape plans with the number of steps at the door exiting to W. Lockwood Ave.
- Add the missing dormer over the office on the roof plan.
- Add storm drainage inlets in the north side yard into the below grade piping.

The motion was seconded by Mr. Weitekamp. The motion passed with a vote of 7 "Aye," 0 "Nay," and 0 Absent. The votes was as follows:

Reed Voorhees	"Aye"
John Falk	"Aye"
Mike Moran	"Aye"
Brad Weitekamp	"Aye"
Jeff Fernhoff	"Aye"
Laura Switzer	"Aye"
Jon Emert	"Aye"

**ADJOURN**

Mr. Moran moved to adjourn the meeting at 8:09 p.m. The motion was seconded by Mr. Weitekamp and unanimously carried to adjourn the meeting.

DRAFT



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

APPLICATION DATE 4/21/26 DATE OF ARB MEETING 5/13/26 ESTIMATED COST \$700,000

PROJECT ADDRESS 305 NORTH SAPPINGTON GLENDALE, MO 63122

NAME OF PROPERTY OWNER JAY & GLORIA JARVIS PHONE NUMBER 314-440-4482

CONTRACTOR (NAME) HERITAGE BUILDING ARTS PHONE NUMBER 314-440-4482

CONTRACTOR ADDRESS 1015 GRUPP ROAD SUITE 31811, DES PERES, MO 63131

ARCHITECT (NAME) DAVID BUCKLEY PHONE NUMBER 314-315-6434

ARCHITECT ADDRESS 8949 CLAYTON ROAD, ST LOUIS, MO 63117

DETAILED DESCRIPTION OF WORK BEING PROPOSED: A 3,000 SF ADDITION ON THE BACK OF EXISTING 2,300 SF HOUSE

FLOOR AREA RATIO 27.8% (FAR = Gross Floor Area divided by total area of lot. Gross Floor Area includes all areas provided with heat and/or air conditioning. Includes all conditioned half stories with ceiling heights of more than 5 feet. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch).

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 3,112

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 2,308

TOTAL SQ. FT. OF LOT 21,000 WIDTH AND DEPTH OF LOT (FT.) 75' X 280'

HEIGHT OF STRUCTURE 34'-0" NUMBER OF STORIES THREE

ESTIMATED COMMENCE DATE JUNE 2026 EST. COMPLETION DATE JAN 2027

Each application shall be accompanied with payment of a fee as follows:

- Addition or Accessory Structure: \$150.00
New Home: \$200.00

(SEE REVERSE SIDE FOR APPLICATION CHECKLIST)

Applications **must** include 7 copies of all the following items (11x17 size paper is acceptable). Electronic PDF copies must also be submitted, either by email to [permits@glendalemo.org](mailto:permits@glendalemo.org) or on a USB Flash Drive. Packets are due no later than 5:00 p.m. 20 days prior to the scheduled ARB meeting. Please check each item included. The complete ARB Guidelines may be viewed on the City's website.

Applications for additions to existing homes must include the following content unless specific requirements are shown by the applicant to be not applicable to the proposed project and are modified or waived by the City Administrator.

**Please ensure that all required items are included with your submission and that all plans have the required detail. If revisions or additional information are necessary, your submission will be held over to the following ARB meeting.**

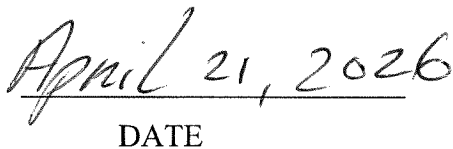
- 1. **Existing Conditions Site Survey.** Show all site conditions, paved areas, trees and landscaping, and servicing utilities on the subject property. Note the first-floor elevation of existing buildings. 1" = 20" minimum scale.
- 2. **Site Demolition Plan.** This may be incorporated into the Existing Conditions Plan, if the drawing is presented legibly. 1" = 20" minimum scale.
- 3. **Proposed Site Plan -- Geometrics.** 1" = 10' minimum scale. Show all:
  - Site improvements, existing-to-remain and proposed. Include buildings, walls, retaining walls, patios, pavement, walks and ground-based equipment. Provide key setting out dimensions. Dimension proposed buildings and structures to the property line. Label materials for paving/walks.
  - Adjacent neighbor properties to each side and rear of the subject property. Include the full site for side adjoining parcels. Show rear adjoining parcels to the extent of building facades on the rear neighbor's lot. Adjoining property geometrics do not need to be surveyed and can be created using St. Louis County GIS data or online mapping tools.
  - Property boundaries, setbacks, easements, and right-of-way lines.
  - Proposed site servicing utility lines and physical utility items.
  - Existing and proposed trees
- 4. **Proposed Site Plan – Grading and Drainage.** May be presented as a separate plan or combined with above, provided that geometrics graphics are used as background. 1" = 10' minimum scale. Show all:
  - Existing and proposed contours with 1' contour interval.
  - Downspout locations serving roof areas of the proposed buildings. Show how downspout drainage flow is collected and piped/conveyed to discharge points. Include over-land drainage discharge patterns, drainage swales, detention basins, and flow direction. Coordinate with the architectural plans and elevations.
  - Drainage detention structures and their overflow discharge points. Show all piping into drainage detention structures.
  - Erosion control measures and tree protection barriers.
  - Drainage differential discharge calculations showing the engineered basis of pre- and post-development stormwater flow off of the site. No development shall result in an increase of stormwater discharge volume from the site.

5. **Architectural Floor Plan.** 1/4" = 1' minimum scale. Show all levels, including finished/unfinished basements and detached structures. Fully dimension and indicate functions for all rooms. Include a roof plan accurately showing geometry, slopes, gutters and downspouts and coordinate with Site Grading and Drainage Plan. Limit size reductions to not more than 50%.
6. **Pervious and Impervious Area Coverage Plan.** Illustrate all impervious improvements and diagram the impervious areas in comparison to pervious areas. Indicate types of site area coverage by shading and/or patterns with a legend of materials. Measure and show in a schedule areas of each type of coverage. Provide calculations of pervious and impervious areas and the ratio of impervious coverage.
7. **Landscape Plan.** 1/8" = 1' minimum scale. Use the Site Geometric Plan as background. The landscape planting plan should include:
- Current information from the site development plan, including existing/proposed grades and all buildings/structures.
  - Location of all lot lines, building setbacks, and easements as depicted on the site development plan.
  - Graphic legend depicting existing vegetation and proposed conditions.
  - Location of all improvements (walks, patios, driveways, retaining walls, etc.)
  - Location of all existing and proposed utilities and sewers.
  - Graphic depiction of all existing trees, including location, types and caliper inch.
  - Graphic depiction of the accurate drip line canopy showing the critical root zone.
  - Tabulation of all existing trees to be saved, removed or impacted.
  - Graphic depiction, plant schedule and planting details of all proposed trees, landscape plantings, shrubs, lawn areas, and groundcovers. Botanical and common names should be listed on plans.
  - Graphic depiction indicating limits of ground disturbance and all associated areas of lawn to be seeded or sodded upon project completion.
8. **Arborist Report.** The arborist report should include Tree Protection Plan (TPP) with the following information:
- Project title or name, owner name, and firm name or individual who prepared the plan.
  - Scaled based plan using the site development plan depicting line of disturbance, existing/proposed grades, location of all improvements, existing/proposed utilities and sewers.
  - Graphic depiction of all existing trees to remain and to be removed including location, types and Diameter Breast Height (DBH) size of 6" or greater.
  - Graphic depiction of the accurate drip line canopy showing the extent of the Critical Root Zones and Structural Root Zones.
  - Graphic depiction of proposed Tree Protection Zones and tree protection fencing.
  - Identification of any areas of invasive plants recommended for removal.
  - Tree Report Summary with the common and scientific name of the tree and the DBH at 4.5' above grade; comments on the vitality, structure and form of the tree; tree number (to correspond with the TPP); assessment of value/significance and recommended action to be taken; and reason for proposing removal or trimming of the tree.
9. **FAR Illustration Plan.** 1/8" = 1' minimum scale. Present a diagrammatic illustration of the plan areas as measured in CAD-based takeoff or as calculated by dimensions. Note the measured or calculated area of each floor plan level, show the boundary of each measured area graphically,

and indicate how each area is assessed for FAR. Account for all floor areas and classify (i.e. conditioned space, enclosed porches, attached or detached garage, two-story living space, etc.).

- 10. **Color Photos of Adjoining Properties.** Color photos of existing and neighboring properties. Include rear yard and neighboring rear yards.
- 11. **Aerial Photo Plan.** Submit an illustration compositing the proposed development with buildings shaded black and pavements shaded grey, superimposed to scale onto an aerial photo image showing the project Street in its entirety.
- 12. **Composite Street Elevation.** ¼" = 1' minimum scale. Provide a colored elevation of the street façade superimposed on a photographic montage showing the adjoining neighbors to each side of the property. The exhibit must accurately depict the proposed design and the first-floor level in relation to the neighboring houses.
- 13. **Building Elevations.** Minimum ¼" = 1' scale. Reduced size exhibits limited to not more than 50 percent. Provide building elevations of all principal facades and detached structures with building materials noted. Accurately show the line of grade, as defined in the ARB guidelines, and coordinate with the Grading Plan. Note basements as a Story Below Grade or a Building Story, and show the roof height on each elevation, as defined in the ARB guidelines.
- 14. **Colored Illustration.** Provide a 3-dimensional rendering or a colored building elevation of the principal street façade. For additions, illustrate the most prominent façade whether side or rear.
- 15. **Materials and Samples.** Applicants are required to bring physical samples of the building materials to the ARB meeting.

  
SIGNATURE OF APPLICANT

  
DATE

# Memorandum

**To:** Jay Jarvis  
**From:** Mark Meyer, P.E., Intuition and Logic Engineering, Inc.  
**Date:** May 1, 2026  
**Subject:** 305 N Sappington Stormwater (I&L PN: 2608)

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## 1. Introduction

Home addition and site modifications are proposed for the residence at 305 N Sappington Road. Intuition and Logic Engineering, Inc. (I&L) was retained to prepare stormwater drainage calculations and supporting exhibits to illustrate compliance with the following Glendale Architectural Review Board (ARB) Site Design Guidelines:

- 4D - Grading Design, #2
- 4E - Pervious and Impervious Surfaces Table
- 4F - Drainage Utility Drawing, #1
- 4G.1 - Stormwater Mitigation
- 4G.2 - Stormwater Mitigation Calculations for Group 1: Building Additions

## 2. Existing and Proposed Site Conditions

The 305 N Sappington Road existing site is 0.484 Acres total with 0.158 Acres impervious area and 0.326 Acres pervious areas. Impervious areas are classified as house, deck, driveway, garage, entry patio, cottage, and cottage path. Pervious areas make up the remaining parcel area.

The proposed development includes modifying structure footprints, removing the existing garage, adding a new garage, and reconfiguring the driveway. The proposed development increases the total impervious areas on the site by 0.002 Acres (90 sf). The proposed driveway modifications include a trench drain in front of the proposed garage entryway to collect sheet flow from the driveway and redirect to a dry well storage with a pervious bottom and a pump.

## 3. Stormwater Calculations

I&L followed the City of Glendale’s requirements and used the Metropolitan St. Louis Sewer District Rational Method’s required 15-year, 20-minute storm event to determine the existing and proposed condition stormwater runoff rates and differentials. The proposed site modifications increase runoff during the 15-year, 20-minute storm by 0.0158 cubic feet per second (cfs) which equates to a volume of 19 cubic feet, or 142 gallons. Runoff calculations are summarized in the tables below.

Description	Existing	Proposed	Difference
Pervious Area (Ac)	0.3265	0.3245	0.0020 (90sf)
15yr, 20min Rational PI Factor	1.74	1.74	
Pervious Flow Rate (cfs)	0.5666	0.5631	0.0035

Description	Existing	Proposed	Difference
Impervious Area (Ac)	0.1572	0.1593	0.0020 (90sf)
15yr, 20min Rational PI Factor (Weighted)	3.77	3.84	
Impervious Flow Rate (cfs)	0.5930	0.6123	0.0193
<b>Flow Rate Change (cfs)</b>	<b>1.1596</b>	<b>1.1754</b>	<b>0.0158</b>

\*See Rational Q's Calculation for PI Factors

Differential Runoff Mitigation Calculations	
Description	Rate
15YR-20MIN Differential Runoff (cfs)	0.0158
20 MIN Differential Volume (CF)	19
20 MIN Differential Volume (Gal)	142

#### 4. Glendale, MO ARB Guidelines Compliance

##### 4D – Grading Design Criteria #2

- Criteria – Avoid overland discharge of stormwater onto neighbors' properties. Direct drainage from structures and impervious pavements to swales, area drains served by drain piping, curbed or swaled pavements discharging to streets, or stormwater detention areas to prevent concentrated roof downspout stormwater flow from discharging across neighboring properties.
- Description of Compliance – Existing drainage and proposed drainage is directed to the existing concrete channel at the northern edge of parcel. The concrete channel terminates into an existing enclosed system at the property line (see photo). The site drainage pattern does not change. There is no concentrated drainage planned. Downspouts overland flow to the existing concrete channel or to the proposed trench drain. See the Drainage Utility Exhibit.



*Existing and proposed concrete drainage channel flowing into existing enclosed system*

##### 4E - Pervious and Impervious Surfaces Table

- Criteria – For Total Lot - Existing Impervious, Proposed Impervious, Change. For Front Yard Setback - Existing Impervious, Proposed Impervious, change
- Description of Compliance – Proposed improvements increase impervious surface area:

Impervious Lot Coverage Calculations			
	AREA (SF)	ACRES	PERCENTAGE
TOTAL LOT	21,071	0.484	
Existing Impervious Area	6849	0.159	32.5%
Proposed Impervious Area	6937	0.157	32.9%
Change (Increase)	88	0.002	0.4%

##### 4F - Drainage Utility Drawing, #1

- Drainage Utility Drawing, showing grading contours, structure drainage downspouts, underground storm utility piping, over-land storm drainage patterns and flow, stormwater detention structures, municipal stormwater structures on or in immediate proximity to the site

and that are intended to accept stormwater flow from the proposed project, stormwater calculations, and the ARB's specified expression of water volumes, differential discharge, etc. as defined in Section 4G.

- Description of Compliance – See attached Drainage Utility Exhibit. No grading is proposed beyond the home and driveway improvements. Grading beyond the home and driveway improvements will be existing grades. Pipe size and slopes are to be determined based on final design.

#### 4G.1 - Stormwater Mitigation

- Criteria – Infiltration pit, Infiltration Trench, Infiltration Basin, Bio-detention basin
- Description of Compliance – Proposed improvements will increase the total impervious surface area on the site and differential runoff storage will be required. A storage tank with a pervious bottom will be utilized to manage the increased runoff.

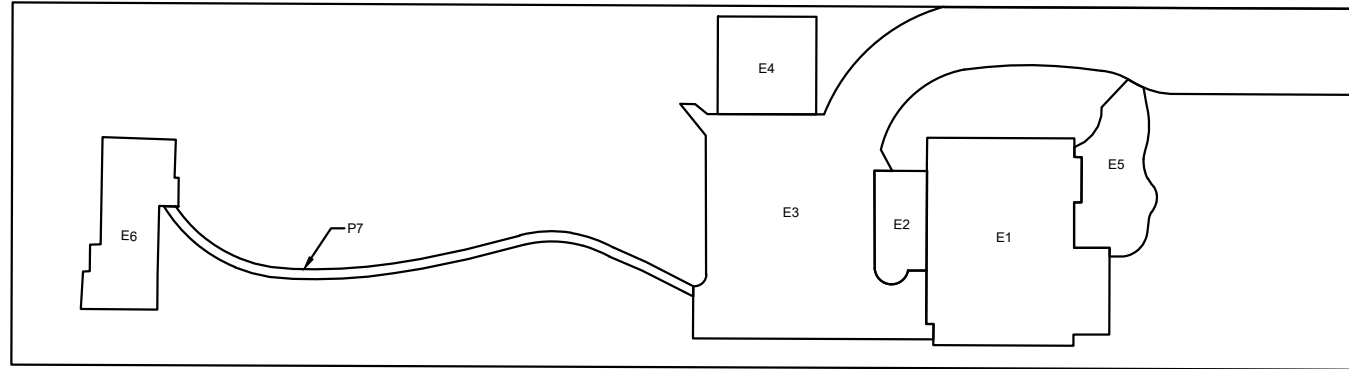
#### 4G.2 - Stormwater Mitigation Calculations for Group 1: Building Additions

- Criteria – Any project where the existing residence is substantially remaining, and new building additions are to be constructed, that creates an increase in the stormwater differential as compared to the existing conditions of the site, shall provide stormwater mitigation that can hold and delay the runoff of the differential stormwater volume.
- Description of Compliance – Proposed improvements will increase the total impervious surface area on the site and differential runoff storage will be required. The increased runoff will be held in a storage tank with a pervious bottom. A float pump will be used to manage flow in the storage tank. The float will draw down no further than the depth required for differential storage. The pump will be sized as to not increase the runoff flowrate from the site. See the Drainage Utility Exhibit.

#### **Attachment(s):**

- Drainage Area Exhibit
- Drainage Utility Exhibit
- SCS Hydrograph for the Driveway Drain
- Rational Q's Calculation for Existing and Proposed

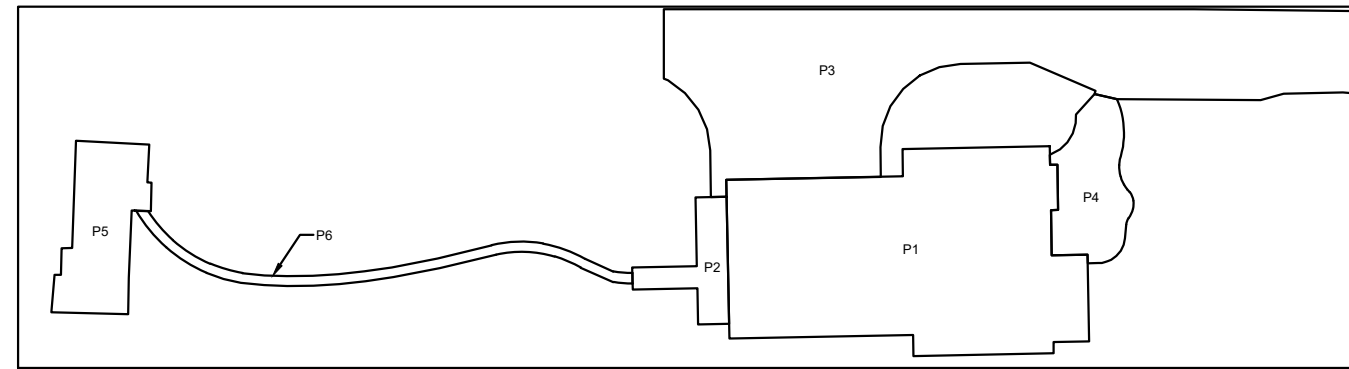
# DRAINAGE AREA EXHIBIT



EXISTING IMPERVIOUS DRAINAGE AREAS

EXISTING IMPERVIOUS AREAS			
AREA		SF	% TOTAL IMP. AREA
HOUSE	E1	1467	21%
DECK	E2	241	4%
DRIVEWAY	E3	3519	51%
GARAGE	E4	416	6%
ENTRY PATIO	E5	447	7%
COTTAGE	E6	520	8%
COTTAGE PATH	E7	240	3%
TOTAL IMPERVIOUS		6849	100%

\*EXISTING DECK IS IMPERVIOUS. CONCRETE UNDER DECK.

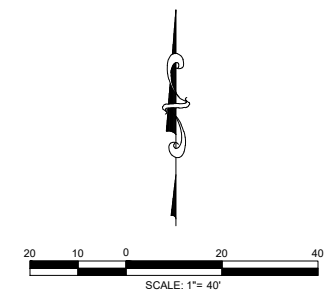


PROPOSED IMPERVIOUS DRAINAGE AREAS

PROPOSED IMPERVIOUS AREAS			
AREA		SF	% TOTAL IMP. AREA
HOUSE	P1	2685	39%
DECK	P2	233	0%
DRIVEWAY	P3	3066	44%
ENTRY PATIO	P4	440	6%
COTTAGE	P5	520	7%
COTTAGE PATH	P6	226	3%
TOTAL IMPERVIOUS		6937	100%

\*PROPOSED DECK IS PERVIOUS. BARE EARTH UNDER DECK.

SUMMARY	
CHANGE IN TOTAL IMPERVIOUS AREA (SF)	90
CHANGE IN TOTAL IMPERVIOUS AREA (AC)	0.00207



2608\_DRAINAGE\_MODIFIED

4/30/26

Path: P:\2608 - JAY JARVIS - Stormwater\Calculations\CAD  
Plotted on: 4/30/26 @ 1:33:54 PM by DANIELLE LAURIE

**INTUITION & LOGIC**  
Intuition & Logic Engineering, Inc.  
No Certificate of Authority  
16253 Swingley Ridge Rd.  
Suite 100  
Chesterfield, MO 63017  
Phone (636) 777-5000

**305 N SAPPINGTON  
STORMWATER  
GLENDALE, MO**

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Professional Engineer Seal  
Mark Edward Meyer - Engineer  
MO# E-2000150043

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

Expiration Date: Dec. 31, 2027

Rev	Date	Description

Date:  
Drawn by: DGL  
Checked by: MSA  
Approved by: MEM

PROJECT NO. 2608

SHEET TITLE:

DRAINAGE AREAS  
EXHIBIT

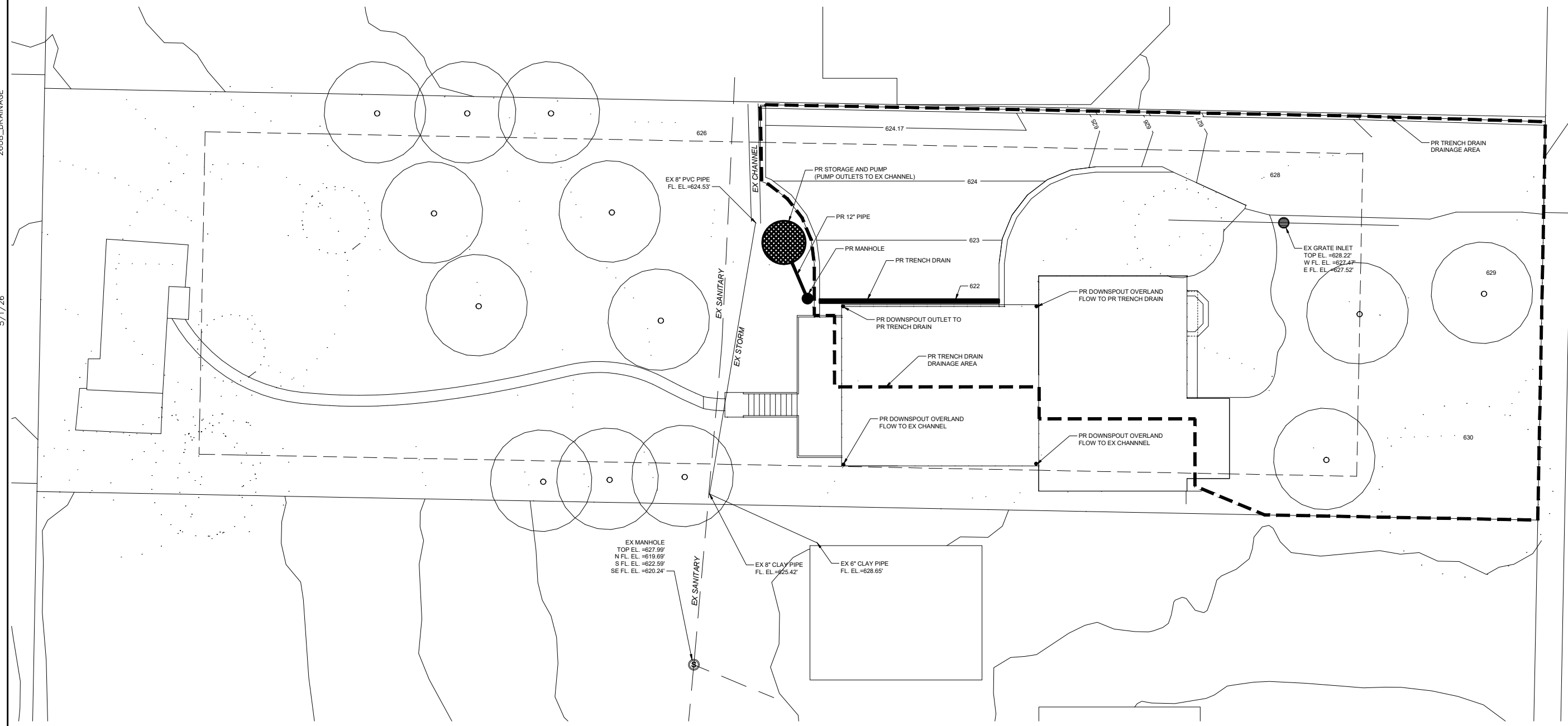
SHEET NUMBER:

1 OF 1

# DRAINAGE UTILITY EXHIBIT

2608\_DRAINAGE

5/1/26

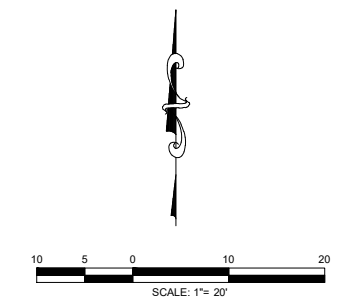


Path: P:\2608 - JAY JARVIS - Stormwater\Calculations\CAD  
 Plotted on: 5/1/26 @ 11:07:07 AM by DANIELLE LAURIE

Differential Runoff Mitigation Storage	
Differential runoff will be kept in the storage tank. The pump float will draw down no further than the depth for required differential storage. The depth for differential storage is calculated as follows:	
[required diff. storage (CF)] / [π*R <sup>2</sup> ], where R is the inside radius of the storage tank. See the following example:	
Required Differential Storage (gal)	142
Required Differential Storage (CF)	19
<b>Example:</b>	
Tank Diameter (ft)	8
Tank Area (SF)	50.24
Depth for Required Differential Storage (ft)	0.38

Max Pump Flow Rate (gal/min)	
Maximum PR Flow (gal/min)	520.46
(-) PR Conditions Flow Not to Trench Drain (gal/min)	307.83
(=) Maximum PR Conditions Flow from Trench Drain (gal/min)	212.63

The maximum proposed flow rate from the site must be less than or equal to the existing maximum flow rate of 520.46 gal/min. The storage tank pump will be used to control the proposed flow rate. The maximum pump flow rate must be less than or equal to the Maximum PR Conditions Flow from the Trench Drain.



**INTUITION & LOGIC**  
 Intuition & Logic Engineering, Inc.  
 No Certificate of Authority  
 16253 Shingrey Ridge Rd.  
 Suite 100  
 Chesterfield, MO 63017  
 Phone (636) 777-5000

**305 N SAPPINGTON  
 STORMWATER  
 GLENDALE, MO**

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Professional Engineer Seal  
 Mark Edward Meyer - Engineer  
 MO# E-2000150043

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Expiration Date: Dec. 31, 2027

Rev	Date	Description

Date:  
 Drawn by: DGL  
 Checked by: MSA  
 Approved by: MEM

PROJECT NO. 2608

SHEET TITLE:  
 DRAINAGE  
 UTILITY EXHIBIT

SHEET NUMBER:  
**1 OF 1**

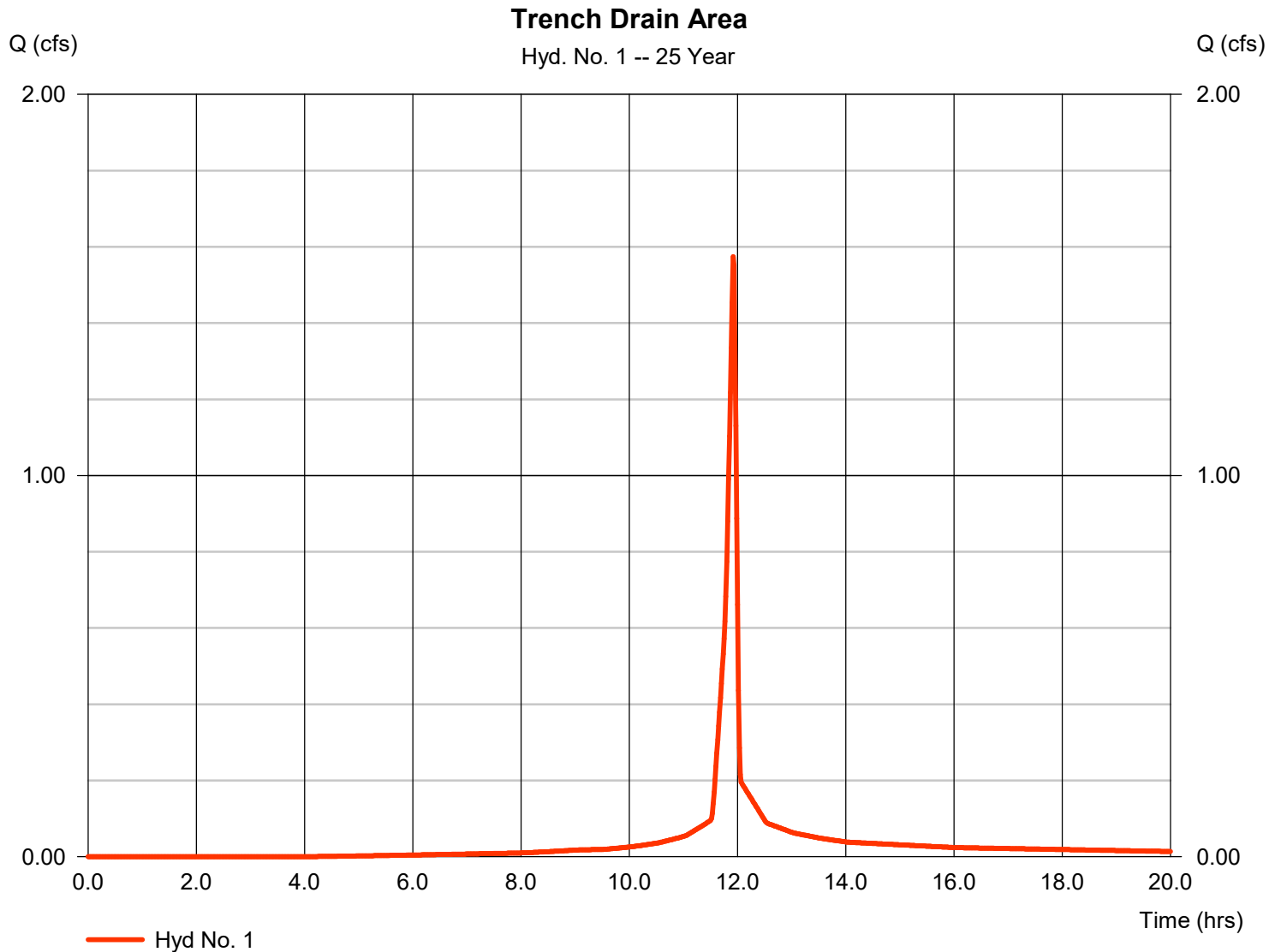
# Hydrograph Report

## Hyd. No. 1

### Trench Drain Area

Hydrograph type	= SCS Runoff	Peak discharge	= 1.574 cfs
Storm frequency	= 25 yrs	Time to peak	= 11.92 hrs
Time interval	= 1 min	Hyd. volume	= 2,998 cuft
Drainage area	= 0.200 ac	Curve number	= 88*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 2.70 min
Total precip.	= 5.77 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) =  $[(0.116 \times 98) + (0.086 \times 74)] / 0.200$



Project Name: 2608 305 N Sappington Stormwater	Project Number: 2608	Date:	Date:
Client Name: Jay Jarvis	Updated by: DGL	Date: 5/1/2026	Date:
Subject: MSD Q=PIA calculations	Checked By: MSA	Date: 5/1/2026	Date:

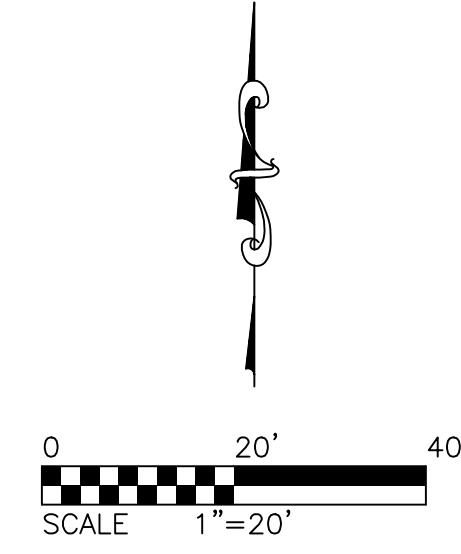
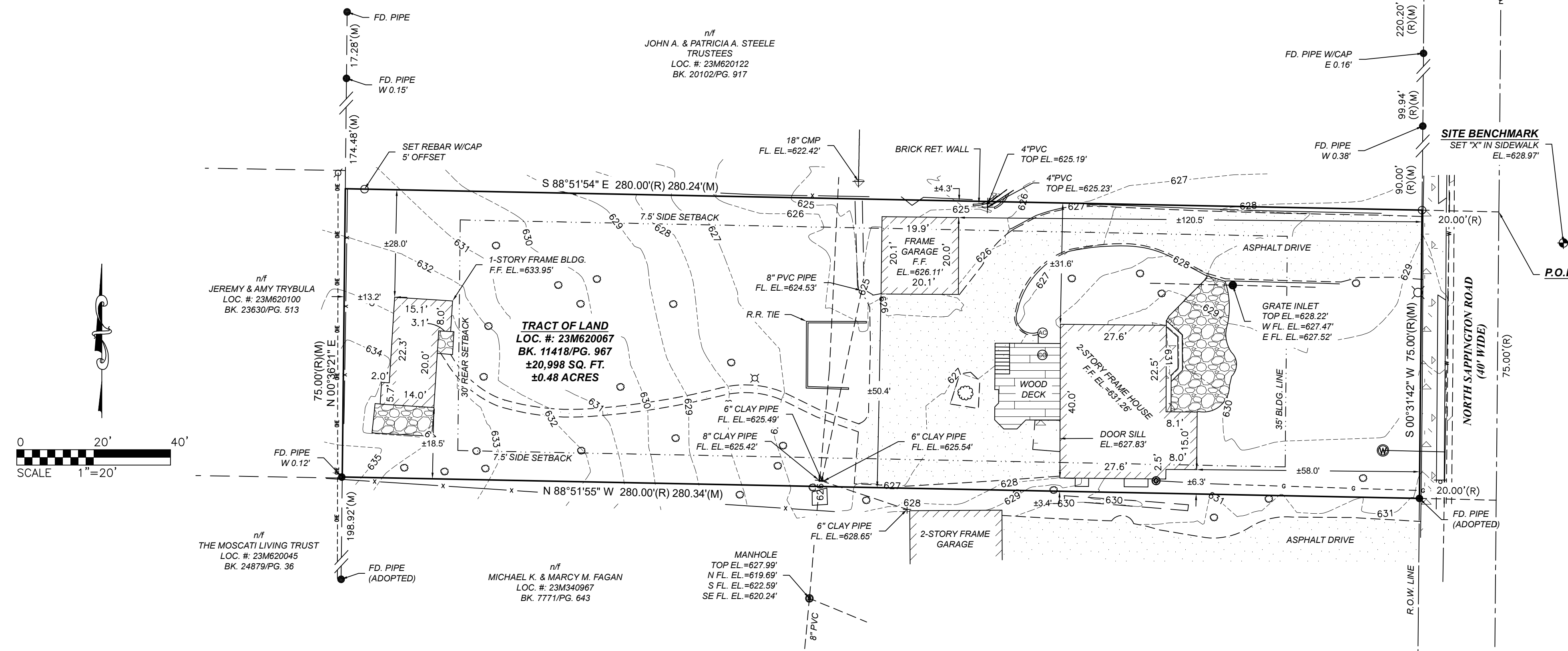
Inlet ID	Drainage Area sf	Drainage Area Acre	% Imp	Flow		Flow		Flow	
				PI <sub>2yr-20min</sub>	Q <sub>2yr-20min</sub> cfs	PI <sub>15yr-20min</sub>	Q <sub>15yr-20min</sub> cfs	PI <sub>100yr-20min</sub>	Q <sub>100yr-20min</sub>
EX Impervious Pavement	4446.05	0.102	100.0	2.39	0.24	3.54	0.36	4.77	0.49
EX Impervious Roof	2402.99	0.055	100.0	2.39	0.13	4.20	0.23	4.77	0.26
EX Pervious	14221.58	0.326	7.0	1.17	0.38	1.74	0.57	2.34	0.76
PR Impervious Pavement	3731.78	0.086	100.0	2.39	0.20	3.54	0.30	4.77	0.41
PR Impervious Roof	3205.54	0.074	100.0	2.39	0.18	4.20	0.31	4.77	0.35
PR Pervious	14133.3	0.324	7.0	1.17	0.38	1.74	0.56	2.34	0.76
EX Impervious Summary	6849.04	0.157				3.77	0.59		
PR Impervious Summary	6937.32	0.159				3.84	0.61		
EX Summary	21070.62	0.484			0.76		1.16		1.51
PR Summary	21070.62	0.484			0.76		1.18		1.52

# BOUNDARY AND TOPOGRAPHIC SURVEY

A TRACT OF LAND LOCATED IN THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 44 NORTH, RANGE 6 EAST ST. LOUIS COUNTY, MISSOURI CITY OF GLENDALE

## LEGAL DESCRIPTION

A PART OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 44 NORTH, RANGE 6 EAST, IN ST. LOUIS COUNTY, MISSOURI AND DESCRIBED AS BEGINNING AT A POINT IN THE CENTER LINE OF SAPPINGTON ROAD, DISTANT 515 FEET 5 INCHES SOUTH OF THE NORTHEAST CORNER OF SAID NORTHWEST 1/4 OF SAID SECTION 6, THENCE ALONG SAID CENTER LINE OF SAPPINGTON ROAD, BEING 1/4 SECTION LINE, 75 FEET TO A POINT, THENCE WEST 300 FEET TO A POINT, 590 FEET 5 INCHES SOUTH OF THE NORTH LINE OF SAID SECTION 6, THENCE NORTH 75 FEET TO A POINT, THENCE 300 FEET TO THE BEGINNING.

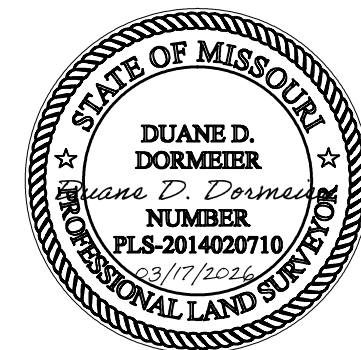


## SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT AT THE REQUEST OF JAY JARVIS, WE HAVE DURING THE MONTH OF MARCH, 2026 EXECUTED A BOUNDARY AND TOPOGRAPHIC SURVEY. THE RESULTS REFLECT THE CONDITIONS FOUND AT THE TIME OF THE SURVEY AND ARE CORRECTLY SHOWN ABOVE AND CONFORM TO THE CURRENT STANDARDS FOR "URBAN" CLASS PROPERTY BOUNDARY SURVEYS AS ISSUED BY THE MISSOURI DEPARTMENT OF AGRICULTURE AND THE MISSOURI BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS AND LANDSCAPE ARCHITECTS. THIS SURVEY WAS CONDUCTED UNDER THE IMMEDIATE PERSONAL SUPERVISION OF THE UNDERSIGNED REGISTERED LAND SURVEYOR. THE EASEMENTS, RESTRICTIONS, AND BUILDING LINES SHOWN ARE BASED ON RECORD PLAT INFORMATION OR ON INFORMATION SUPPLIED BY THE CLIENT. NO INVESTIGATION HAS BEEN MADE BY CHECKPOINT SURVEYING AS TO THE PRESENT STATUS OF EASEMENTS, RESTRICTIONS, OR BUILDING LINES, SHOWN OR NOT SHOWN, AFFECTING THE TRACT SURVEYED.

I, DUANE D. DORMEIER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF MISSOURI, DO HEREBY CERTIFY, THAT AT THE REQUEST OF JAY JARVIS, I MADE THE WITHIN AND FOREGOING SURVEY OF LAND AS HEREON DESCRIBED AND THAT THE SURVEY OF THE ABOVE DESCRIBED PREMISES WAS CONDUCTED BY ME PERSONALLY ON MARCH 12, 2026; THAT SAID SURVEY MEETS THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS AN "URBAN PROPERTY". THIS SURVEY DOES NOT REPRESENT A COMPLETE TITLE SEARCH.

Duane D. Dormeier  
DUANE D. DORMEIER  
MO PLS NO. 2014020710



## UTILITY DISCLAIMER:

THE TYPE, SIZE, AND LOCATION OF UTILITIES AS DELINEATED ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY OF ABOVE GROUND SURFACE UTILITY FEATURES. THE SURVEYOR HAS NOT UNDERTAKEN SUBSURFACE EXPLORATORY INVESTIGATIONS TO CONFIRM OR VERIFY THE UTILITIES SHOWN ON THESE DOCUMENTS, THEREFORE THEIR EXACT LOCATION, SIZE, AND FUNCTION MUST BE CONSIDERED APPROXIMATE AND MUST BE FIELD CONFIRMED BY THE CONTRACTOR. MISSOURI ONE CALL SURFACE FEATURES WERE LOCATED AT TIME OF FIELD SURVEY, CALLED IN BY OWNER.

## SURVEYOR'S NOTES:

- SOURCE OF TITLE: BOOK 11418 PAGE 967
- BASIS OF BEARING: MISSOURI STATE PLANE COORDINATES EAST ZONE, GPS OBSERVED MODOT VRS NETWORK SYSTEM.
- VERTICAL DATUM: GPS OBSERVED MODOT VRS NETWORK SYSTEM (NAVD88). SITE BENCHMARK AS SHOWN HEREON
- SITE ADDRESS: 305 N SAPPINGTON ROAD GLENDALE, MO 63122.
- OWNERS: JAY W. & GLORIA N. JARVIS
- ALL EASEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
- CURRENT ZONING - R1 - SINGLE FAMILY DWELLING; SETBACKS ESTABLISHED BY CITY OF GLENDALE ORDINANCE 400.140
- NO SANITARY SEWER MANHOLES LOCATED OR UTILITY MARKINGS WERE MADE AT THE TIME OF SURVEY. LOCATION OF SANITARY LINE IS UNKNOWN PER MSD MAPS.

## LEGEND:

●	- FOUND MONUMENT (AS NOTED)	—	- BOUNDARY LINE
○	- SET 1/2"x24 REBAR W/CAP PLS 2014020710	---	- LOT LINE
(R)	- RECORD DISTANCE	---	- RIGHT OF WAY LINE
(M)	- MEASURED DISTANCE	---	- SETBACK LINE
◆	- SITE BENCHMARK (AS NOTED)	---	- WALK
⊕	- UTILITY POLE	---	- EDGE OF ASPHALT
⊗	- LIGHT POLE	---	- EDGE OF CONCRETE
⊙	- AIR CONDITIONER	---	- CENTERLINE OF ROAD
⊚	- GAS METER	---	- BACK OF CURB
⊛	- CLEANOUT	---	- GAS LINE
⊜	- TREE	---	- CONTOUR LINE
⊝	- MANHOLE (AS NOTED)	---	- SANITARY LINE
⊞	- SIGN	---	- OVERHEAD ELECTRIC WIRE
⊟	- GRATE INLET	---	- FENCE
⊠	- WATER METER	---	- WATER LINE
		---	- STORM CULVERT
		---	- CURB FLOWLINE
		---	- RETAINING WALL
		▨	- BUILDING HATCH
		▩	- ASPHALT HATCH
		▪	- CONCRETE HATCH
		▫	- STONE HATCH

**Checkpoint Surveying LLC**

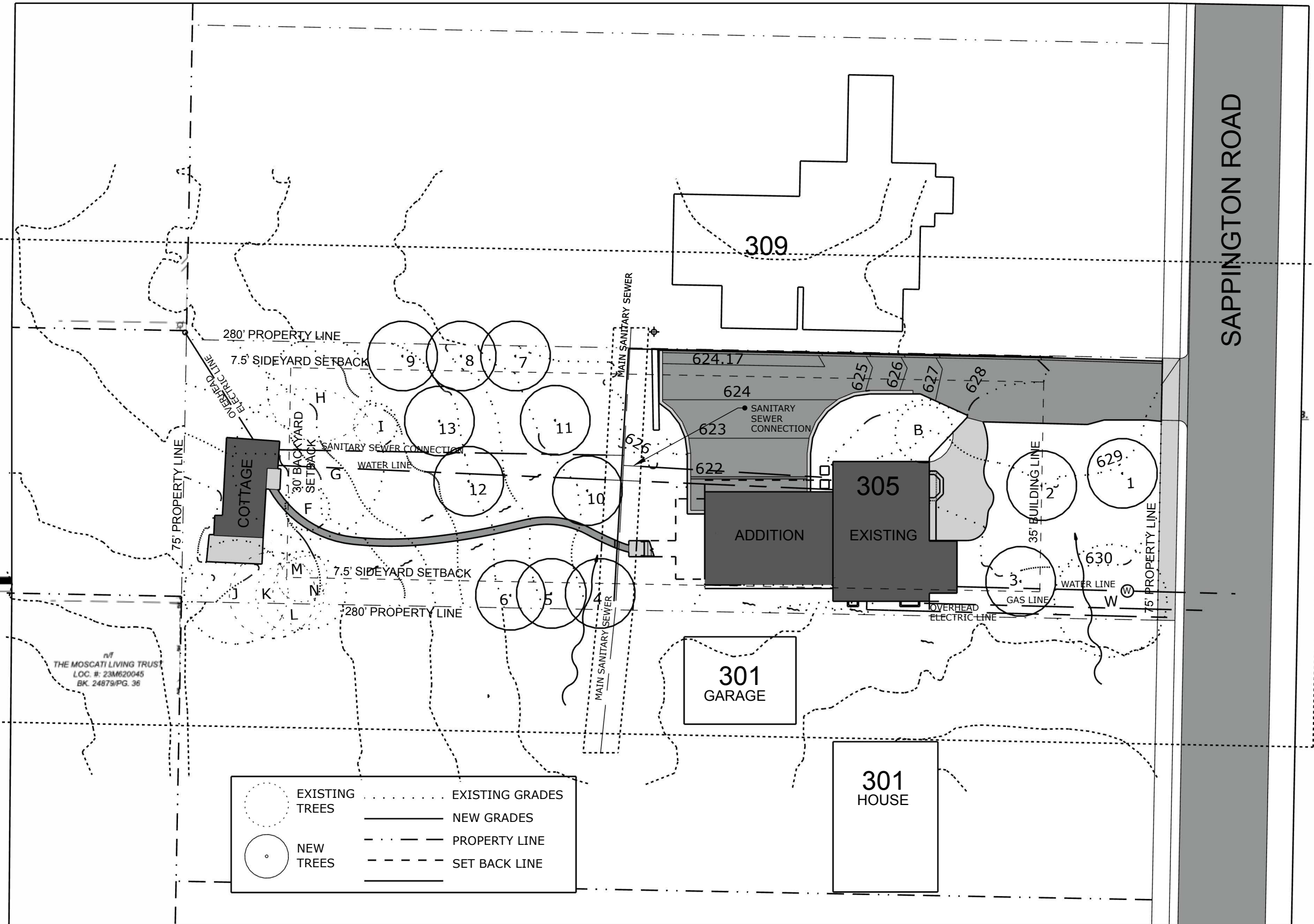
PROFESSIONAL REGISTRATIONS  
CHECKPOINT SURVEYING LLC  
LICENSE NO.  
LS-2014026496  
DUANE D. DORMEIER, PLS  
MISSOURI LICENSE NO. 2014020710

3610 Andora Place  
Saint Louis, Missouri 63125  
Ph (314) 800-8446  
www.checkpointsurveying.com

BOUNDARY AND TOPOGRAPHIC SURVEY  
A TRACT OF LAND LOCATED IN THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 44 NORTH, RANGE 6 EAST  
ST. LOUIS COUNTY, MISSOURI

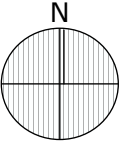
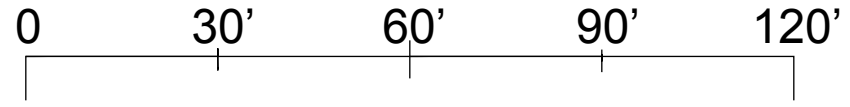
Drawn By: S.L.S. Project No.: 26-138  
Checked By: D.D.D. Date: 3/17/2026

Revision No.	Date	Description



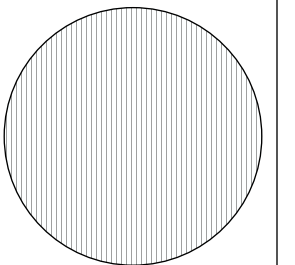
	EXISTING TREES		EXISTING GRADES
	NEW TREES		NEW GRADES
			PROPERTY LINE
			SET BACK LINE

NOTE: SEE ARBOR REPORT FOR TREE TYPES  
 NOTE: GRASS WILL BE REPLACED WHERE CONSTRUCTION HAS DAMAGED THE LAWN



A-01

BUCKLEY DESIGN  
 8949 CLAYTON ROAD  
 ST LOUIS, MO 63117  
 314.315.6434



5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
 305 NORTH SAPPINGTON ROAD  
 GLENDALE, MO

**SITE PLAN**

SAPPINGTON ROAD

309

305

301 GARAGE

301 HOUSE

280' PROPERTY LINE

7.5' SIDEYARD SETBACK

30' BACKYARD SETBACK

7.5' SIDEYARD SETBACK

280' PROPERTY LINE

THE MOSCATI LIVING TRUST  
 LOC. #: 23M620045  
 BK. 24879/P. 36

624

623

622

625

626

627

628

629

630

OVERHEAD ELECTRIC LINE

GAS LINE

WATER LINE

35' BUILDING LINE

75' PROPERTY LINE

MAIN SANITARY SEWER

75' PROPERTY LINE

OVERHEAD ELECTRIC LINE

COTTAGE

ADDITION

EXISTING

SANITARY SEWER CONNECTION

WATER LINE

SANITARY SEWER CONNECTION

WATER LINE

SANITARY SEWER CONNECTION

WATER LINE

SANITARY SEWER CONNECTION

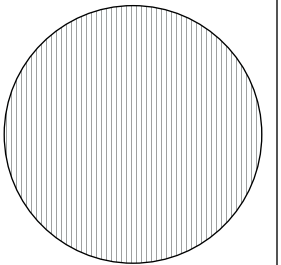
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SANITARY SEWER CONNECTION

WATER LINE

SANITARY SEWER CONNECTION

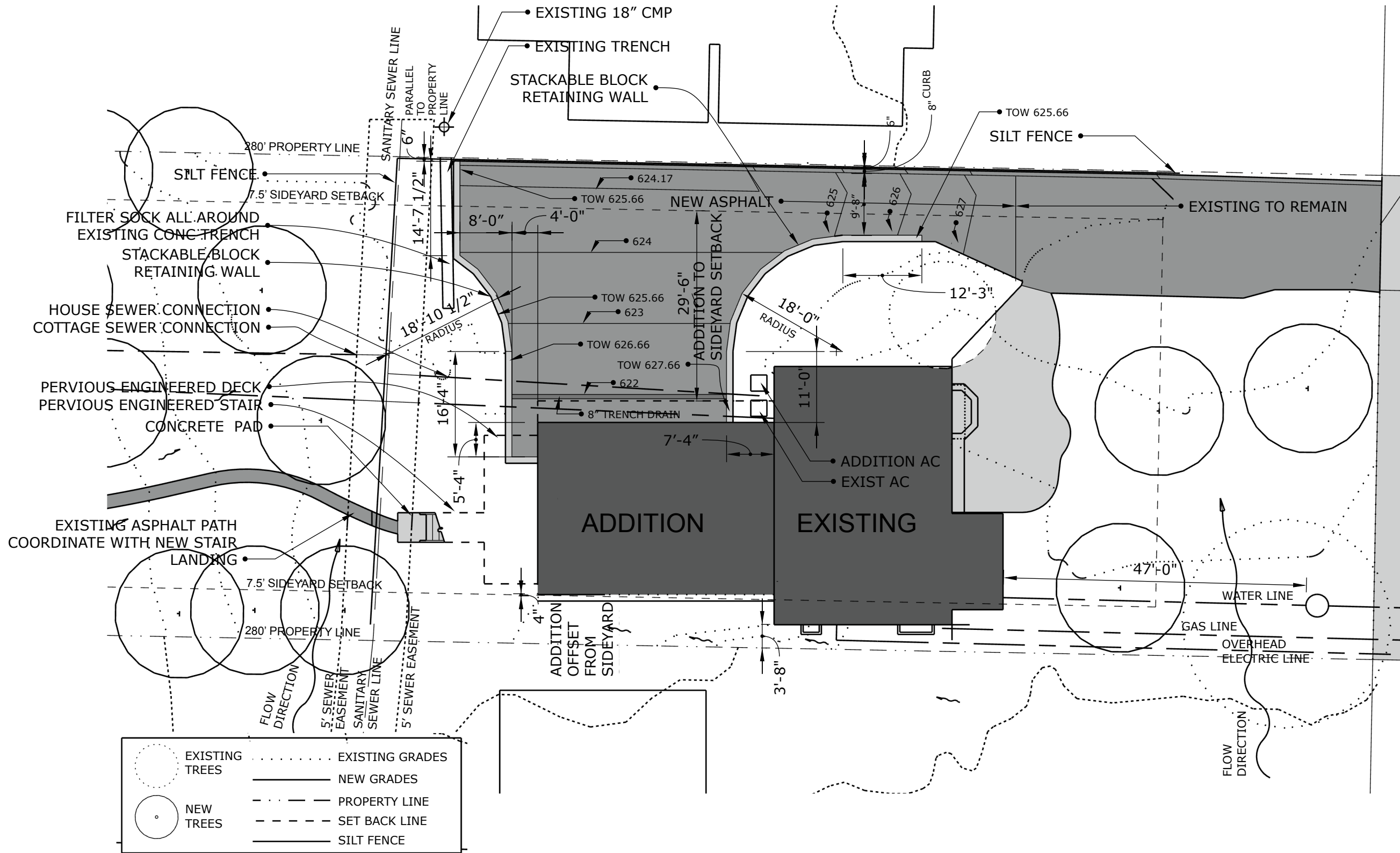
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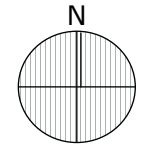
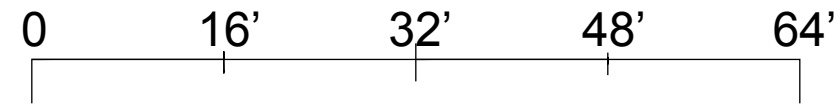
5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**ENLARGED SITE PLAN**

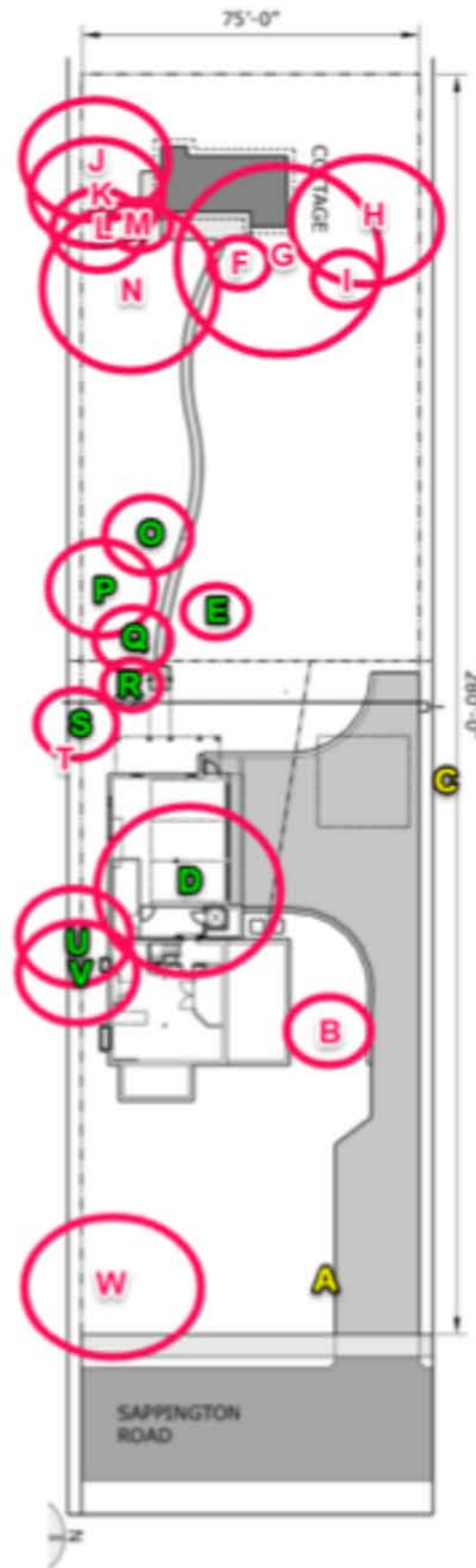


SEE CIVIL DOCUMENTS FOR DOWNSPOUT  
LOCATIONS AND STORMWATER  
ACCOMODATIONS





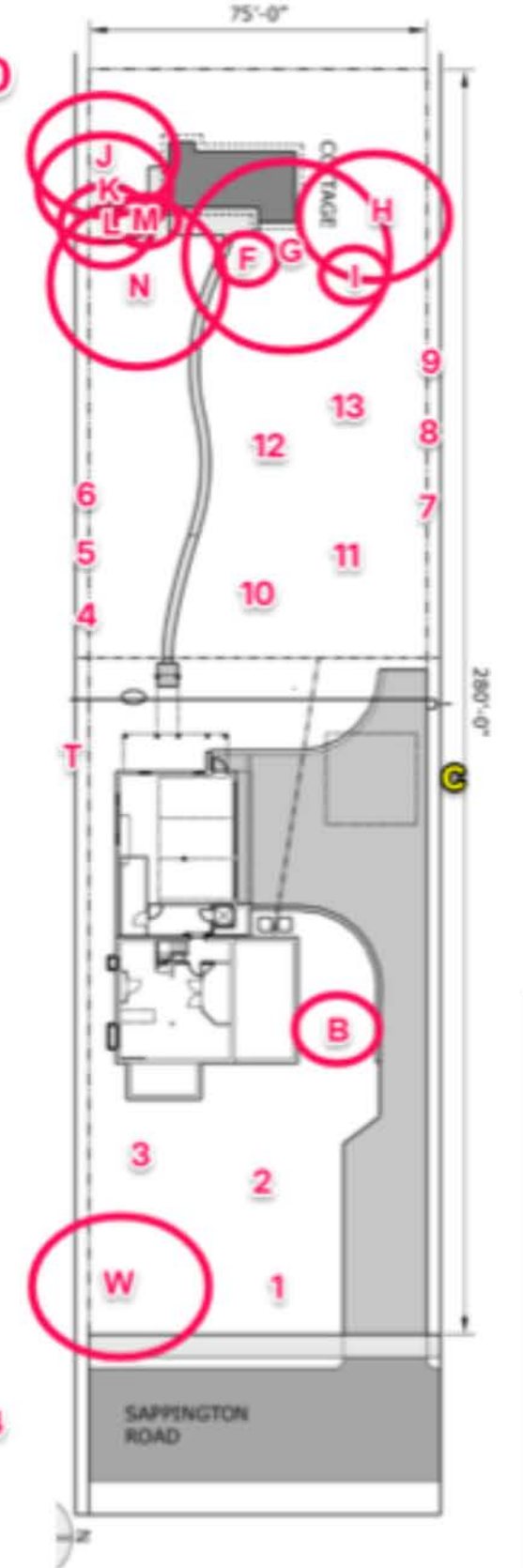
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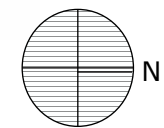
**PRESERVE  
TBR  
POOR  
CONDITION  
TREE  
PROTECTION  
FENCE**



**PROPOSED CANOPY**

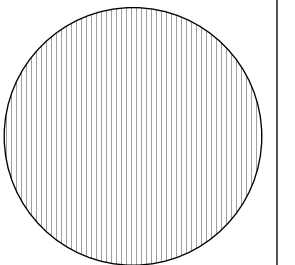


NOTE: SEE COMPLETE ARBORIST REPORT



A-04

BUCKLEY DESIGN  
8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026

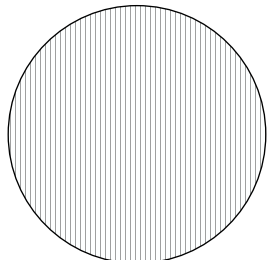
HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**ARBOR PLAN**

NOT FOR CONSTRUCTION

A-05

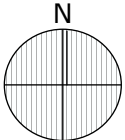
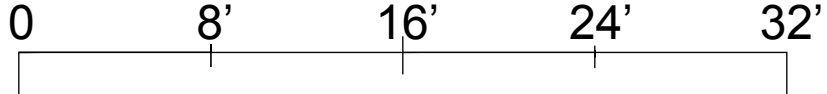
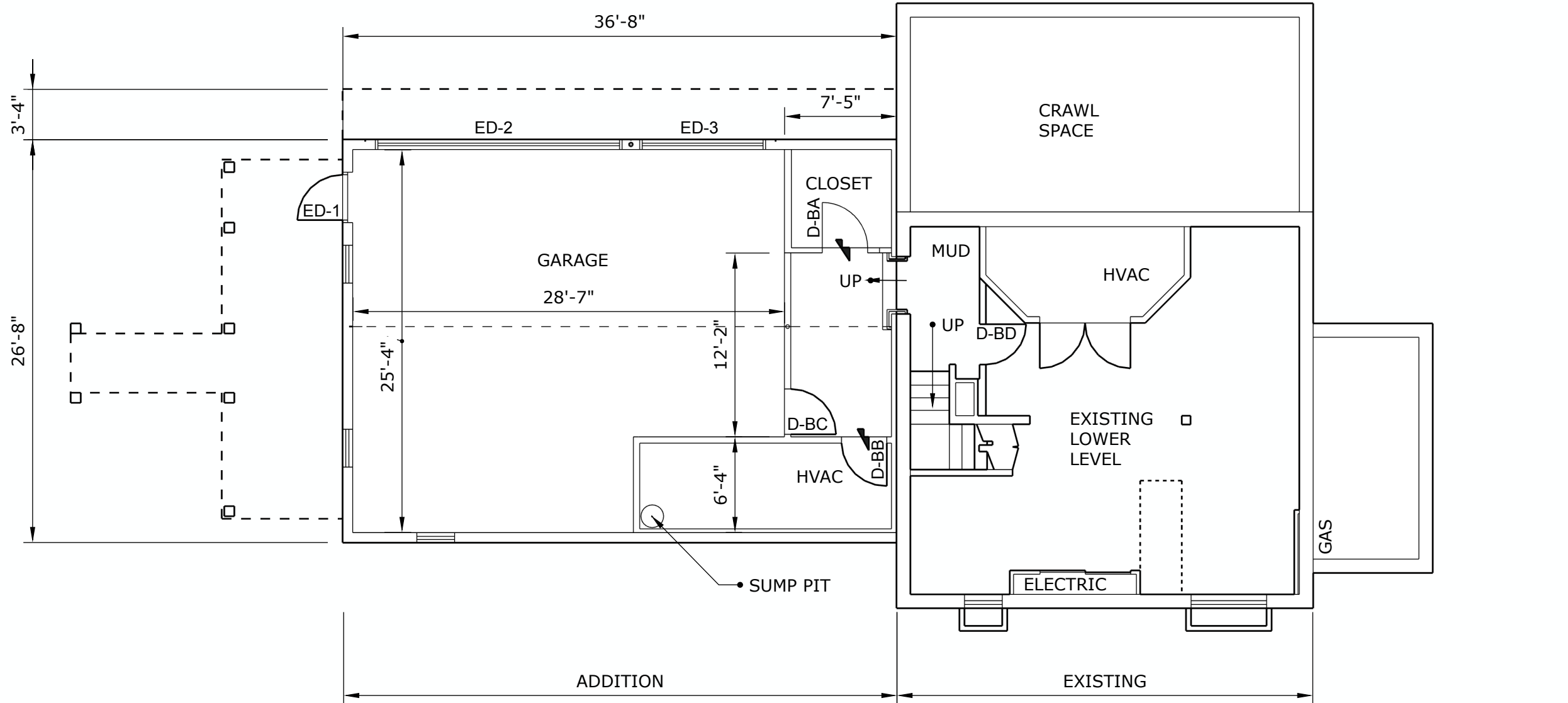
BUCKLEY DESIGN  
8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

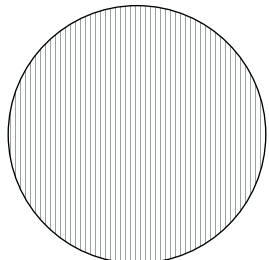
**LOWER LEVEL**



NOT FOR CONSTRUCTION

A-06

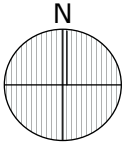
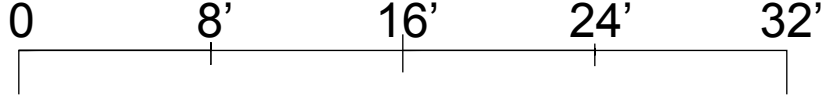
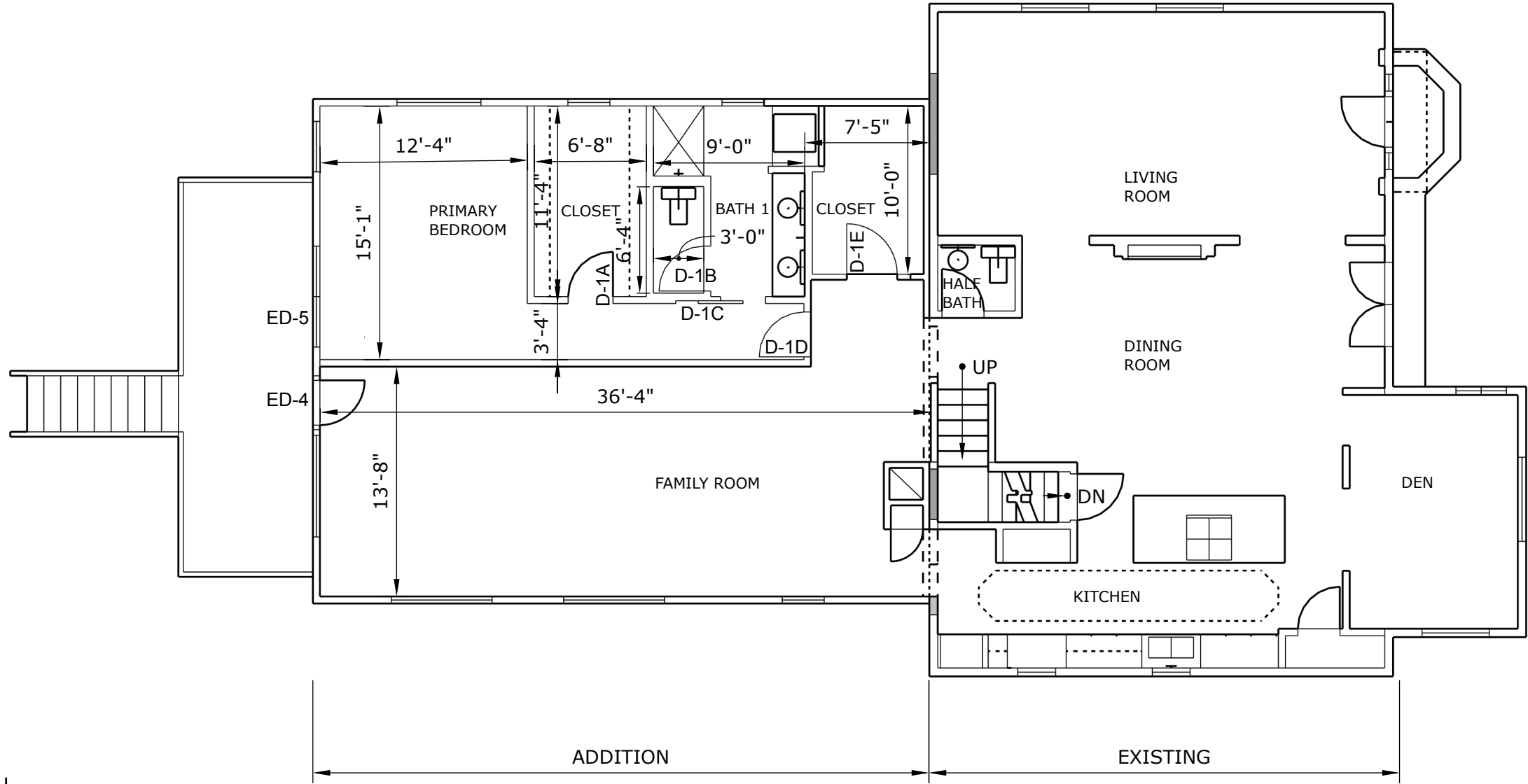
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314.315.6434



5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

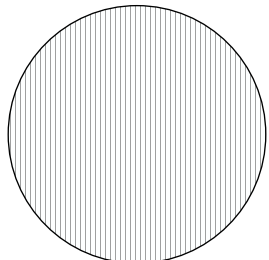
LEVEL ONE



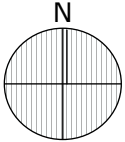
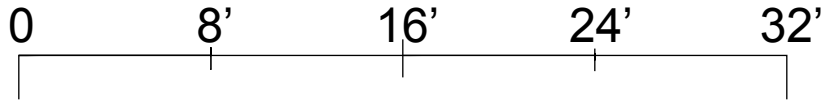
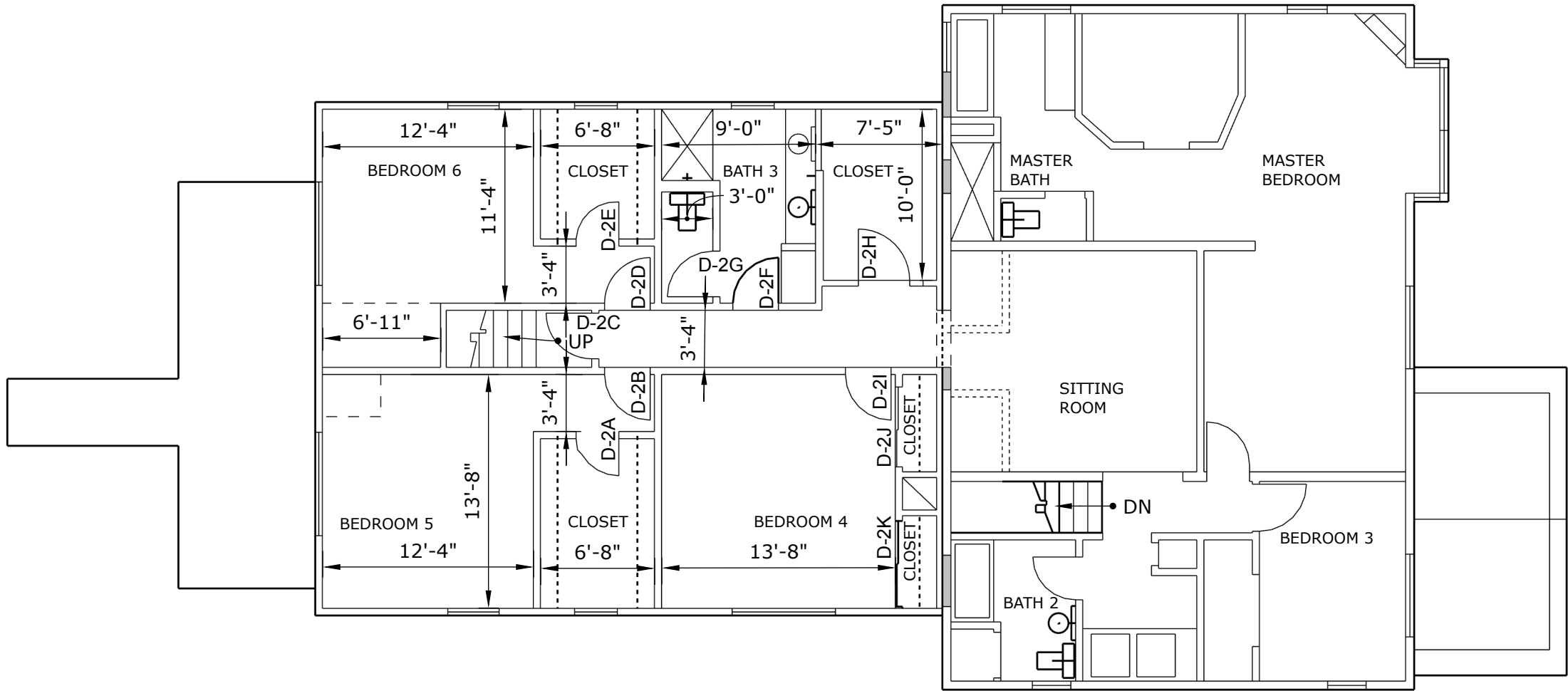
NOT FOR CONSTRUCTION

A-07

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ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026



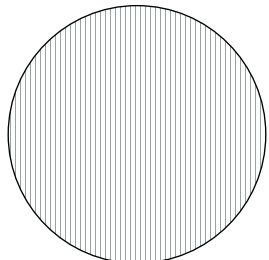
HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**LEVEL TWO**

**NOT FOR CONSTRUCTION**

A-08

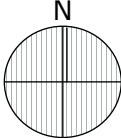
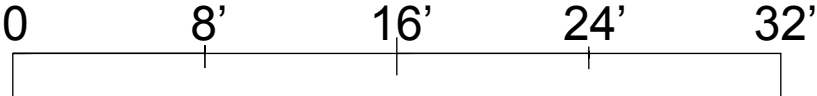
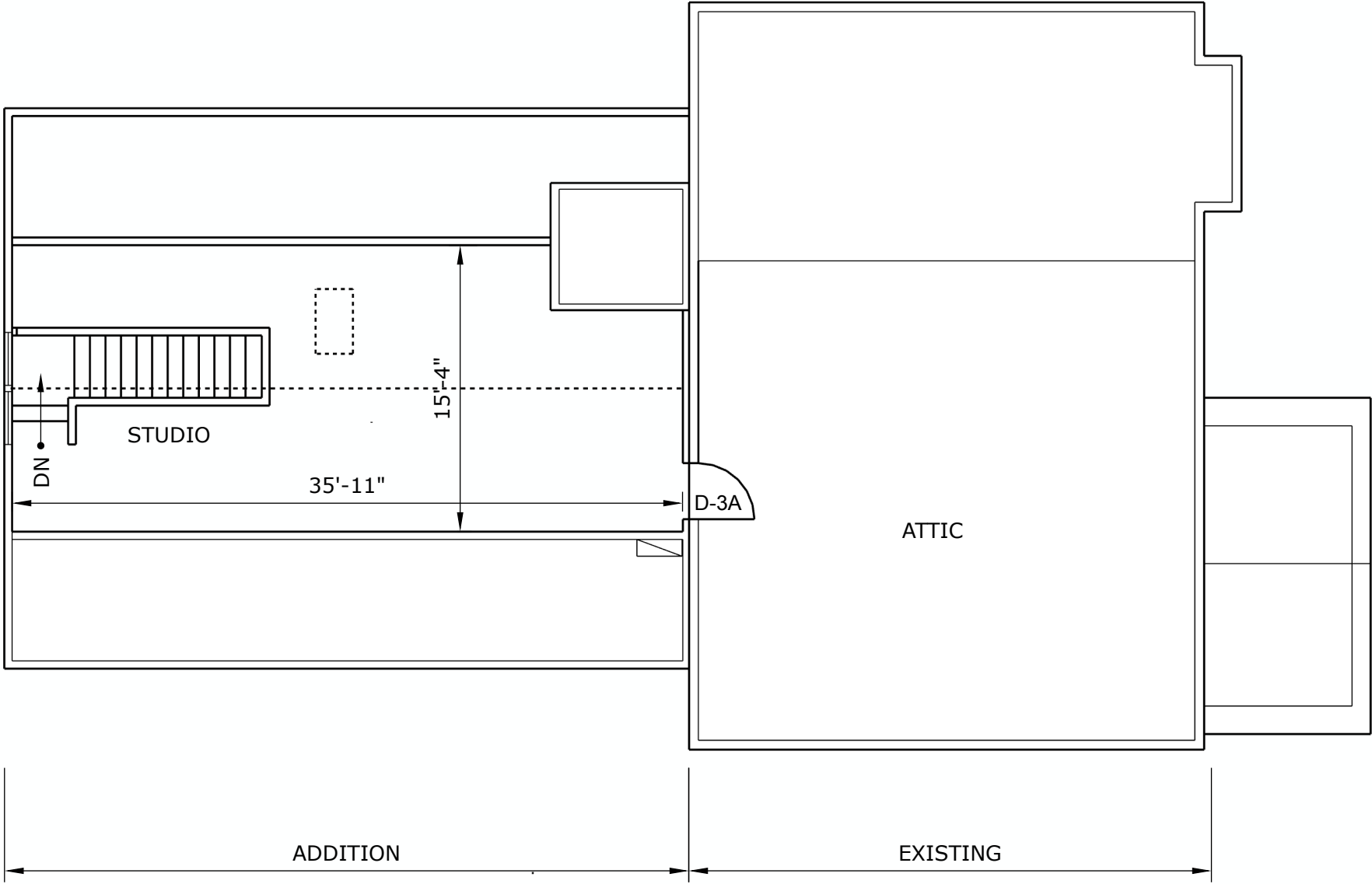
BUCKLEY DESIGN  
8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

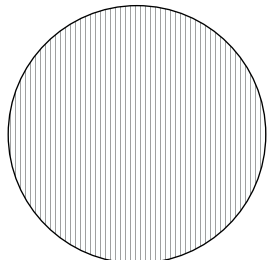
**LEVEL THREE**



NOT FOR CONSTRUCTION

A-09

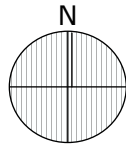
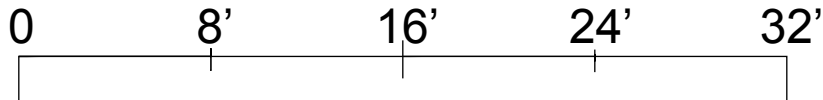
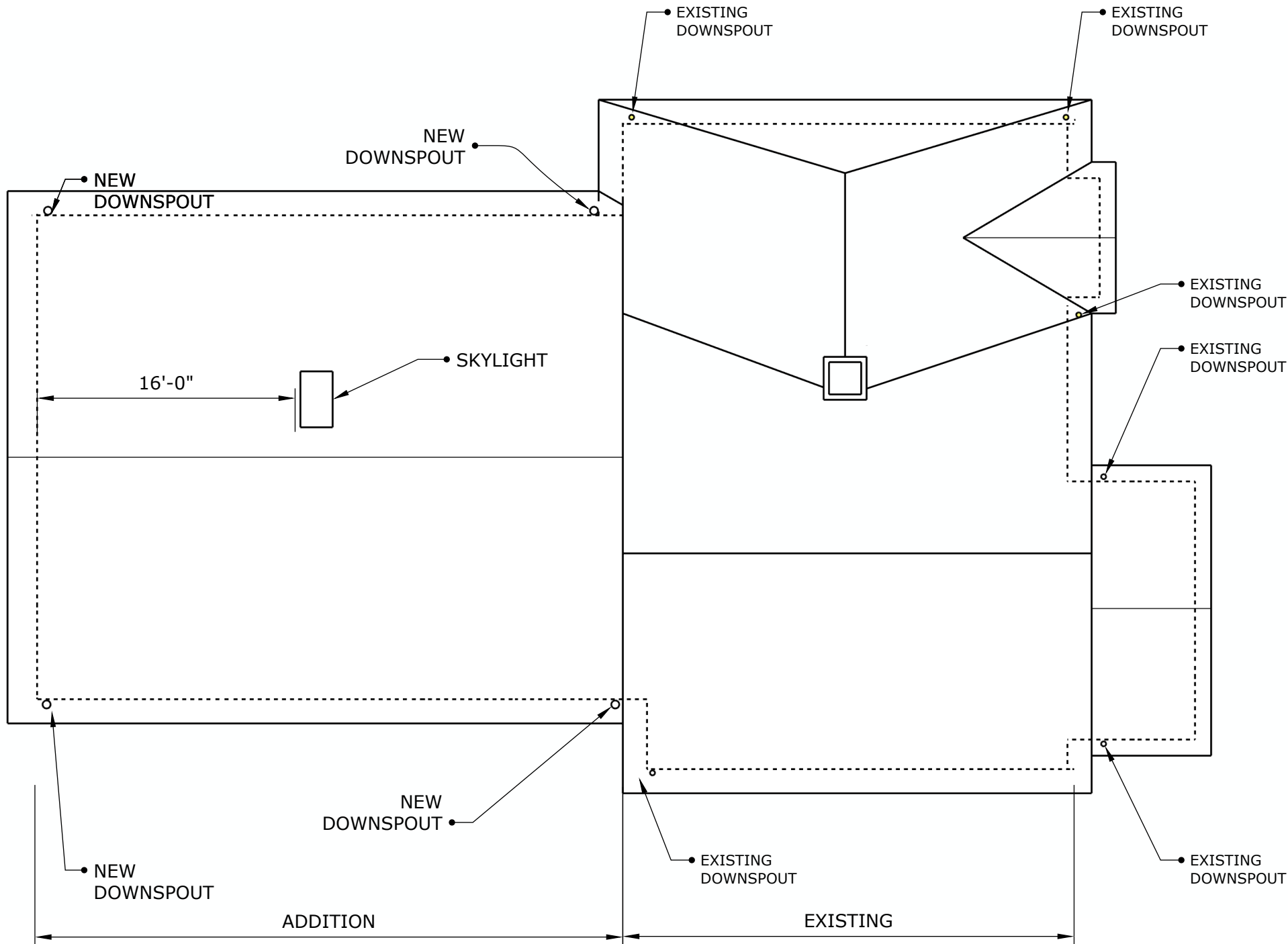
BUCKLEY DESIGN  
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ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

ROOF





309 N SAPPINGTON



305 N SAPPINGTON



301 N SAPPINGTON



AERIAL VIEW



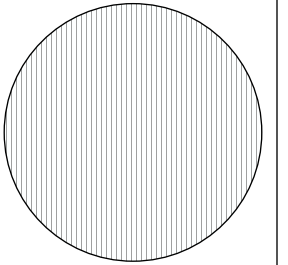
308 N SAPPINGTON



356 HALCYON

A-10

BUCKLEY DESIGN  
8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



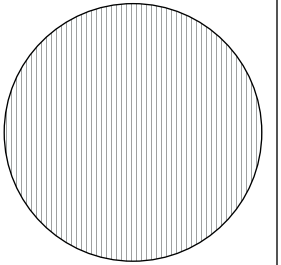
5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**PHOTOGRAPHY**

A-12

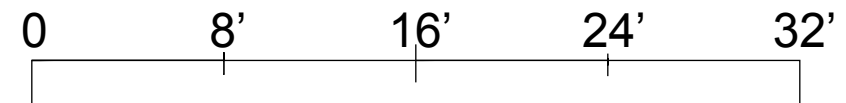
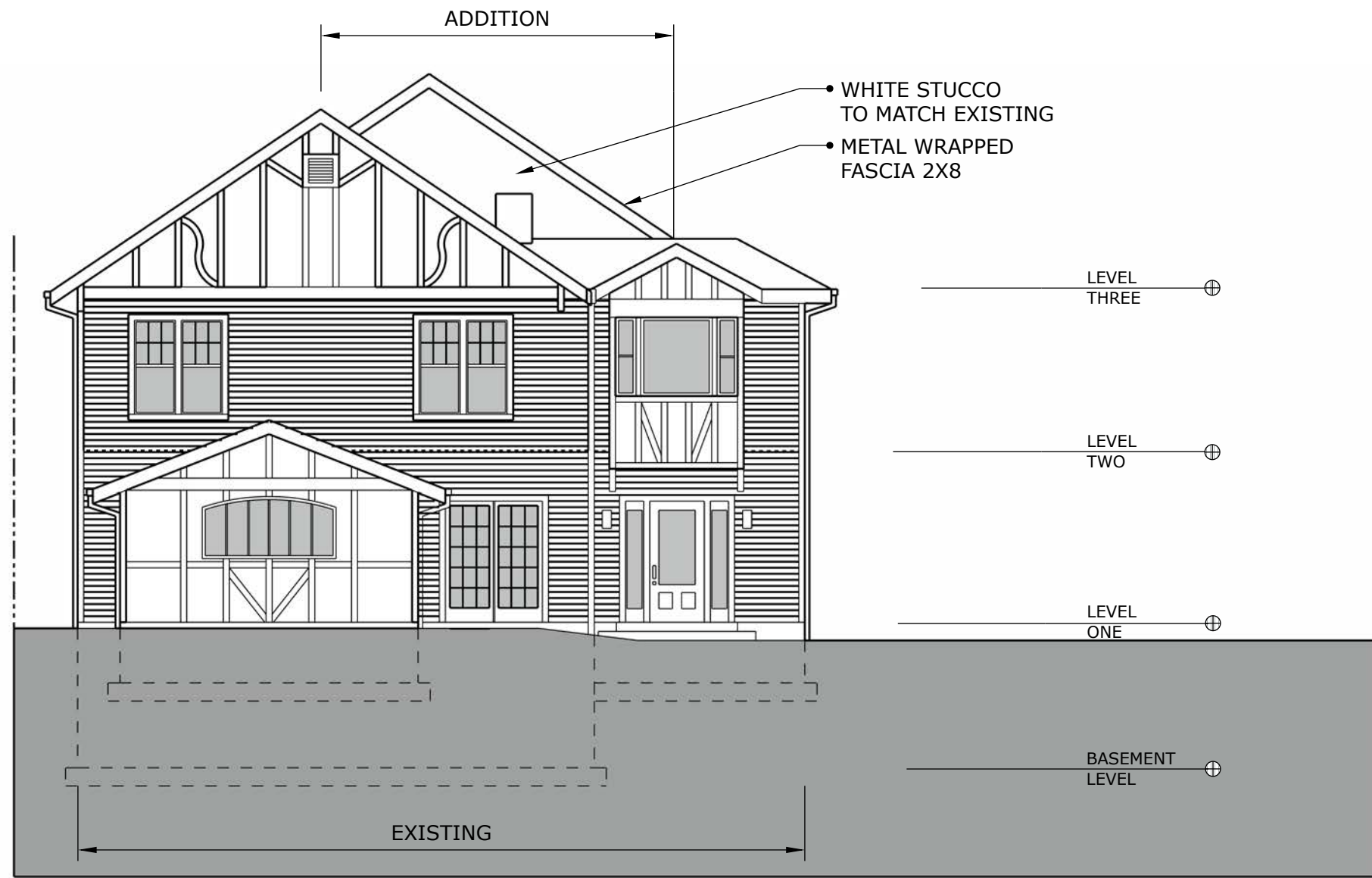
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8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



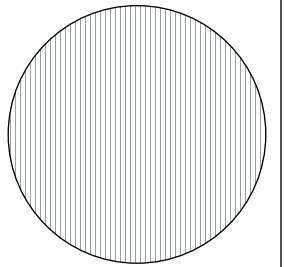
5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**EAST ELEVATION**



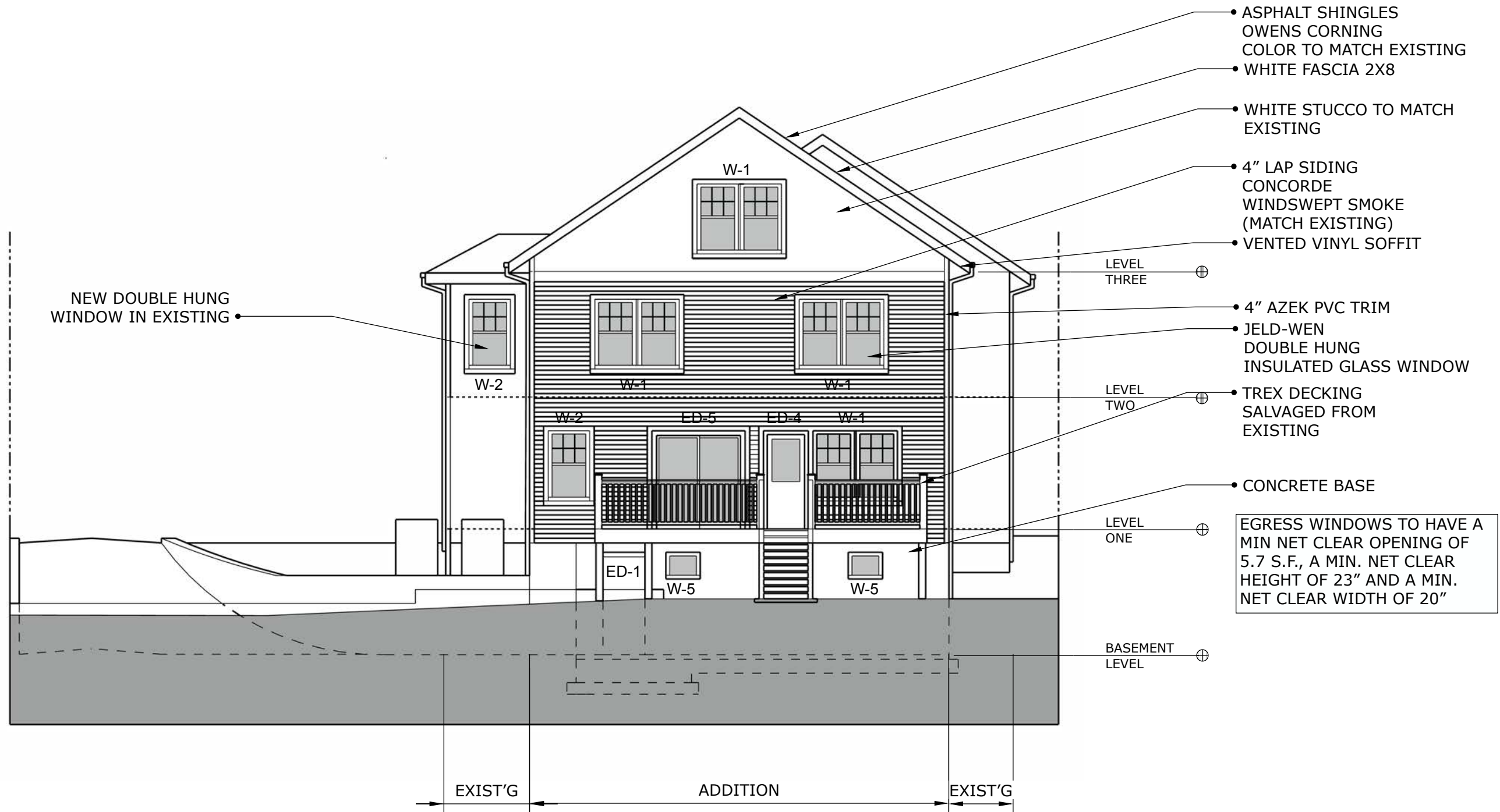
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ST LOUIS, MO 63117  
314.315.6434

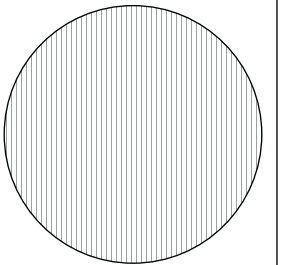


5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**WEST ELEVATION**



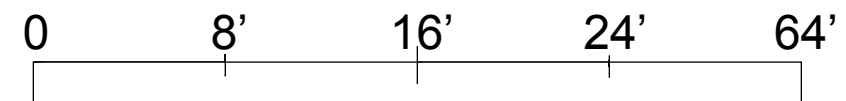
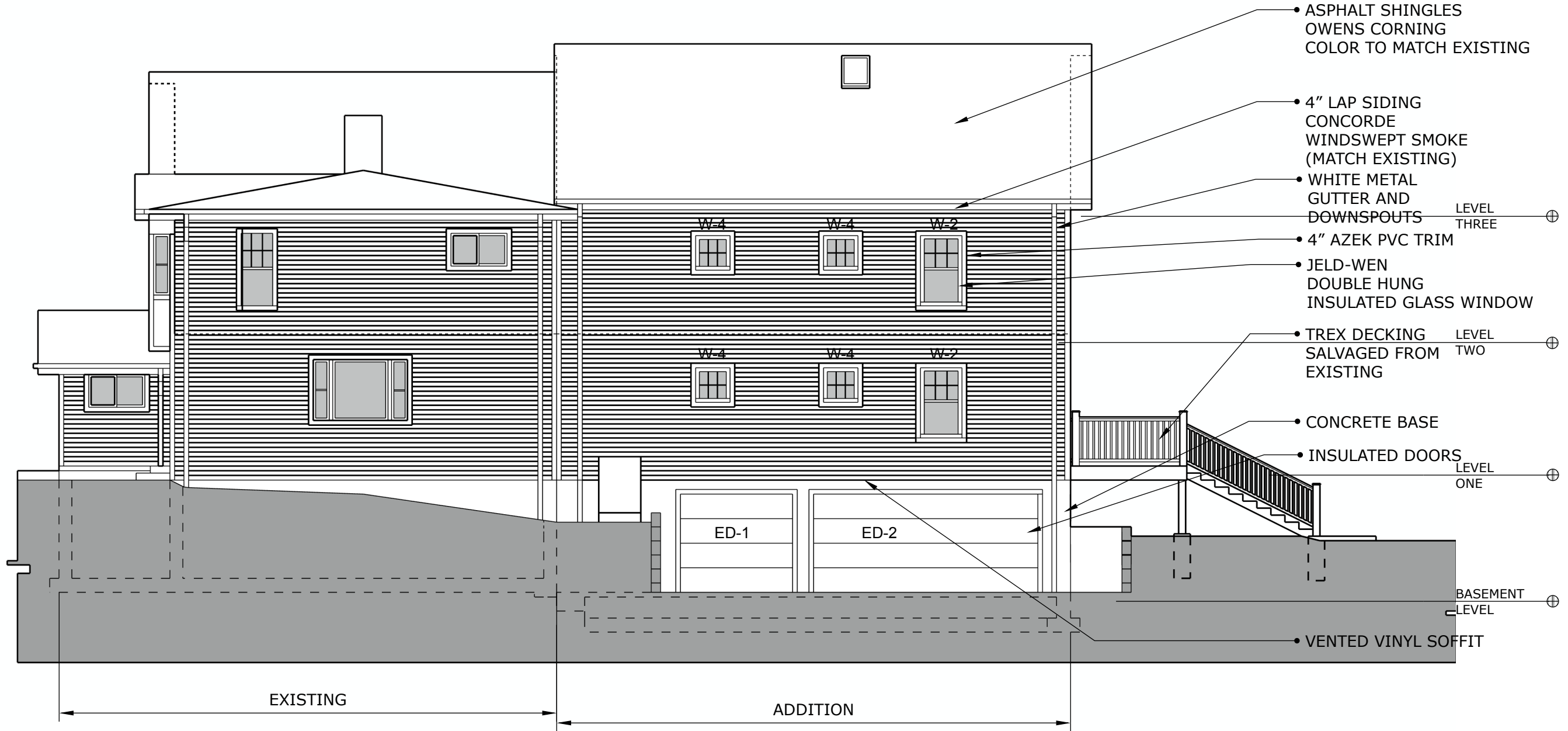


5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**NORTH ELEVATION**

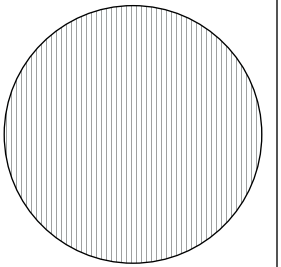
EGRESS WINDOWS TO HAVE A  
MIN NET CLEAR OPENING OF  
5.7 S.F., A MIN. NET CLEAR  
HEIGHT OF 23" AND A MIN.  
NET CLEAR WIDTH OF 20"



EGRESS WINDOWS TO HAVE A MIN NET CLEAR OPENING OF 5.7 S.F., A MIN. NET CLEAR HEIGHT OF 23" AND A MIN. NET CLEAR WIDTH OF 20"

A-14

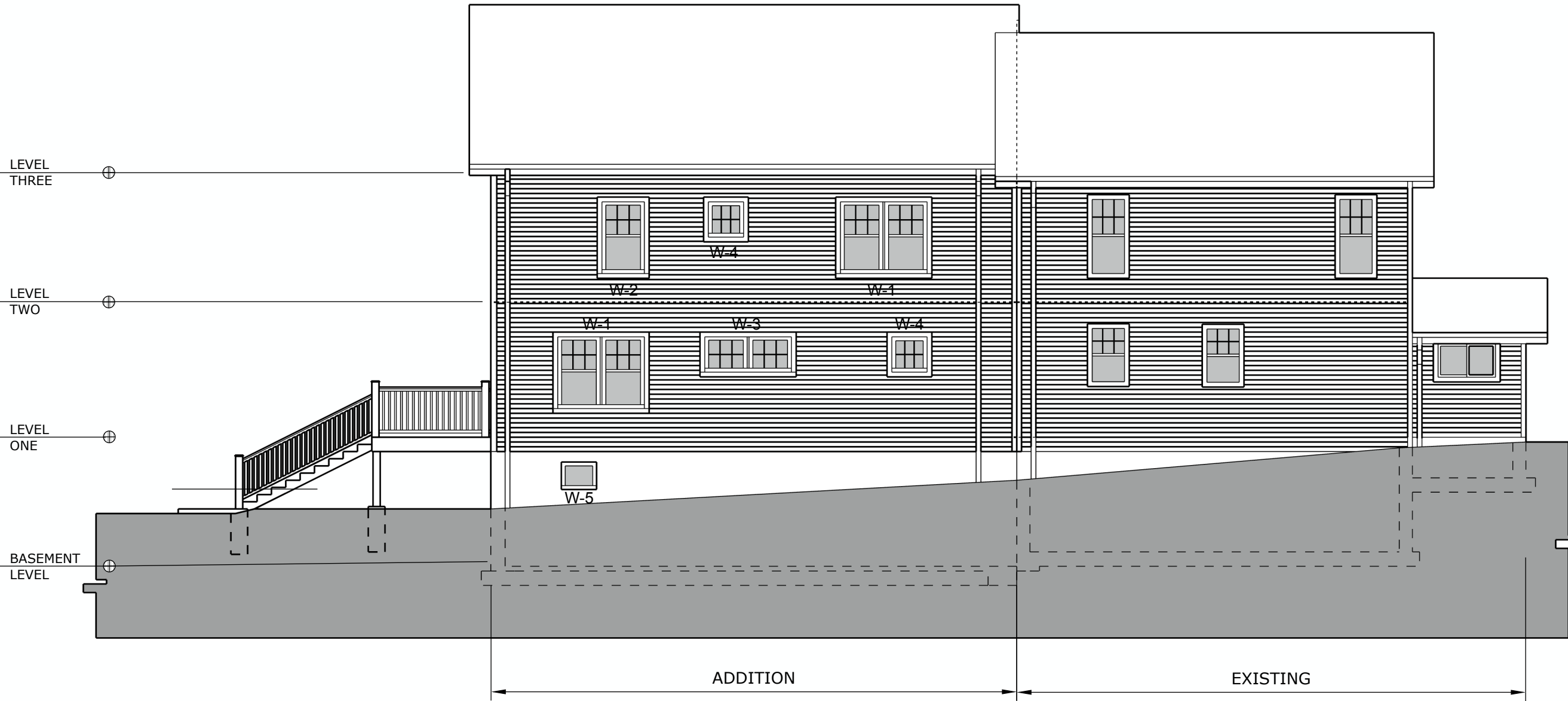
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8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026

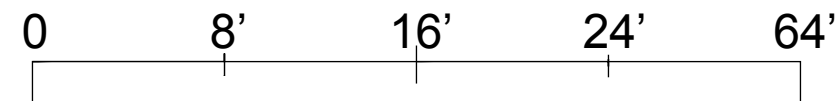
HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**SOUTH ELEVATION**



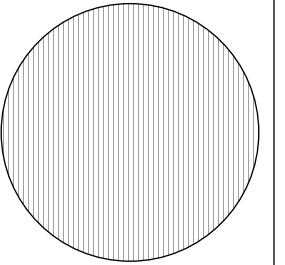
**WINDOW SCHEDULE**

		SIZE W X H	NORT	SOUT	WEST	WEST EXST	TOTAL
W-1	(2)DBL HUNG	6'-0" X 5'-0"	0	2	4	0	6
W-2	(1)DBL HUNG	3'-0" X 5'-0"	2	1	1	1	6
W-3	(2)CLERE	6'-0" X 2'-6"	0	1	0	0	1
W-4	(1)CLERE	2'-6" X 2'-6"	4	2	0	0	6
W-5	BSMT	2'-6" X 1'-11"	0	1	2	0	3



A-15

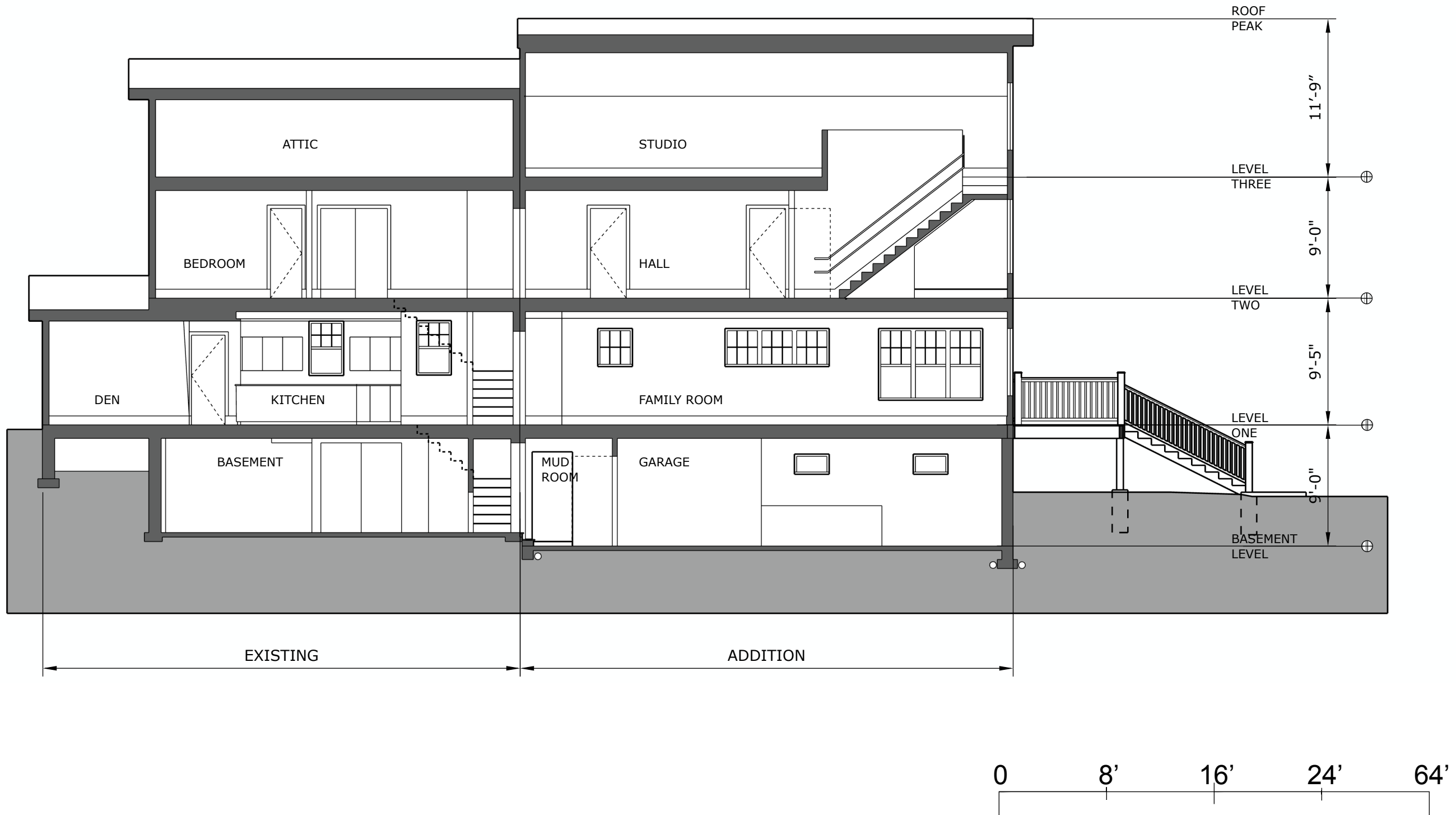
BUCKLEY DESIGN  
8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434

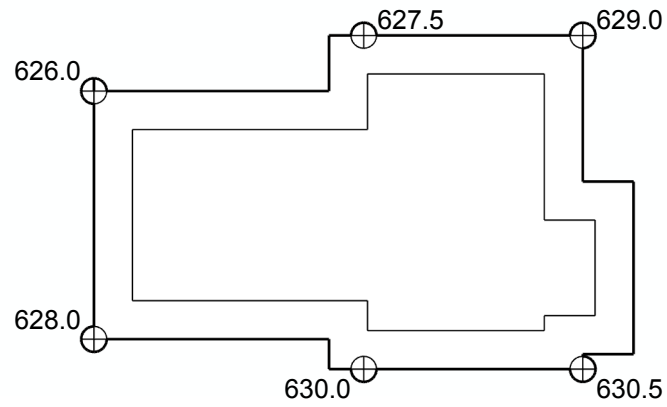


5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**EAST-WEST SECTION**





**A.G.E.**

$AGE = (626 + 628 + 630 + 630.5 + 629.0 + 627.5) / 6 = 628.5$

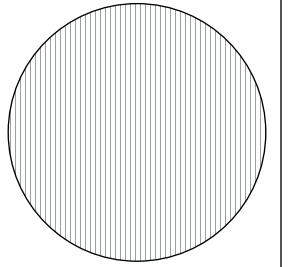
**BUILDING HEIGHT above grade**

LEVEL THREE (Peak at Gable)	11'-9"
LEVEL TWO	9'-0"
LEVEL ONE	9'-5"
GRADE PLANE (631.26-628.5=2.76)	2'-9"
<b>TOTAL HEIGHT</b>	<b>32'-11"</b>



A-16

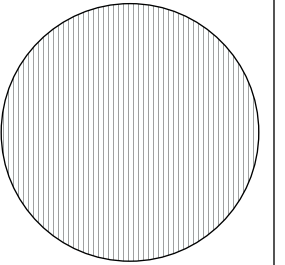
BUCKLEY DESIGN  
8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026

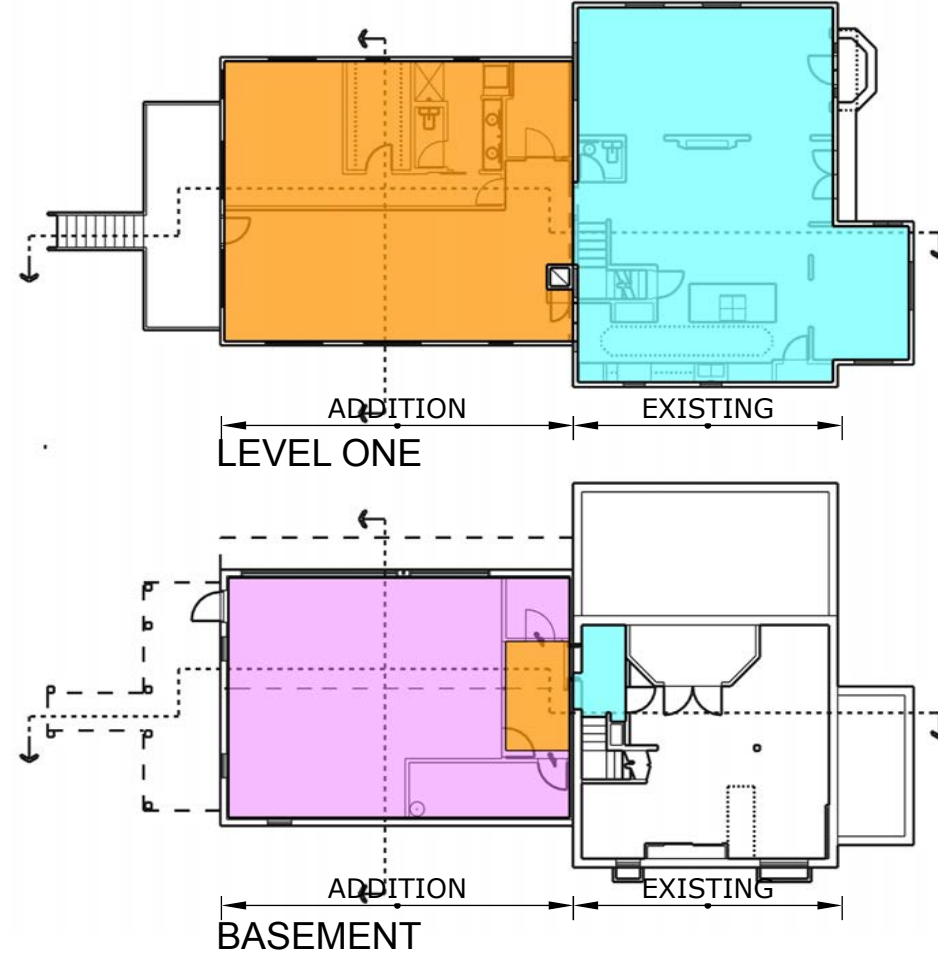
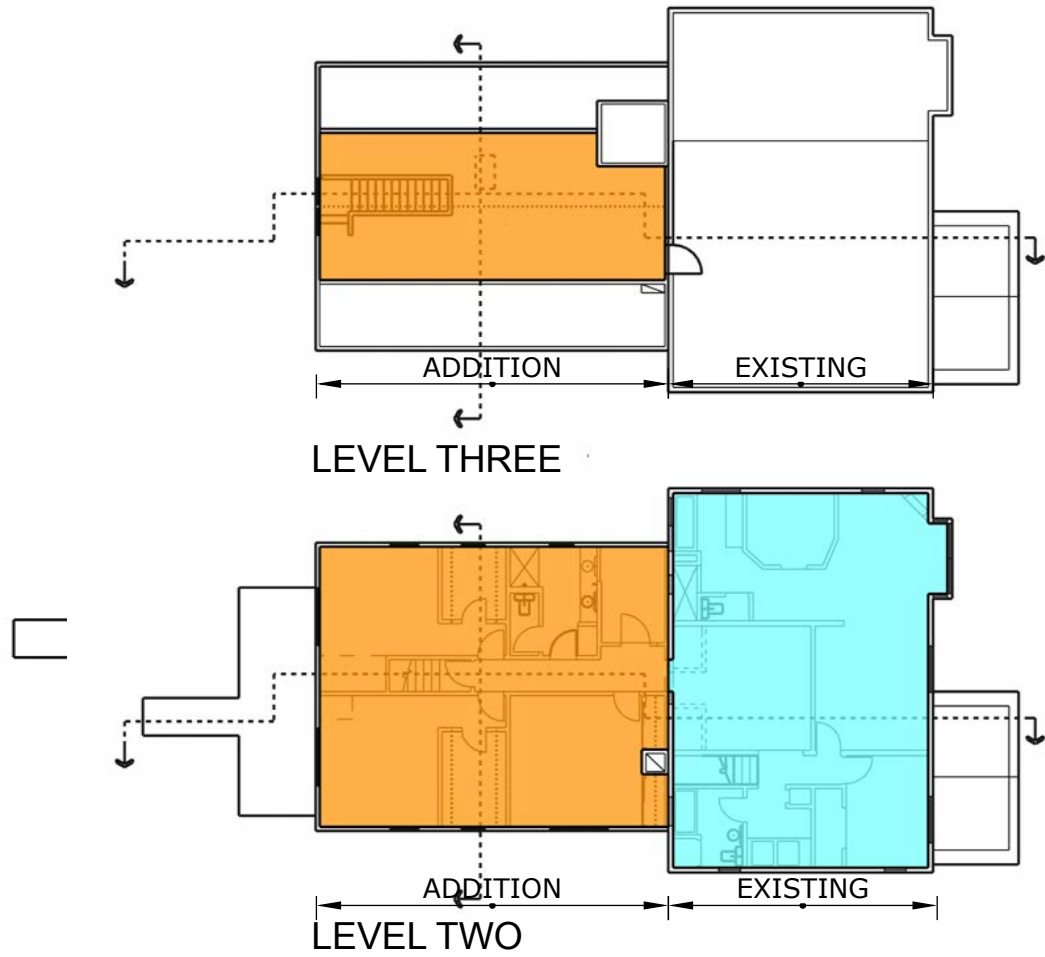
HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO  
**NORTH-SOUTH SECTION**

BUCKLEY DESIGN  
 8949 CLAYTON ROAD  
 ST LOUIS, MO 63117  
 314.315.6434



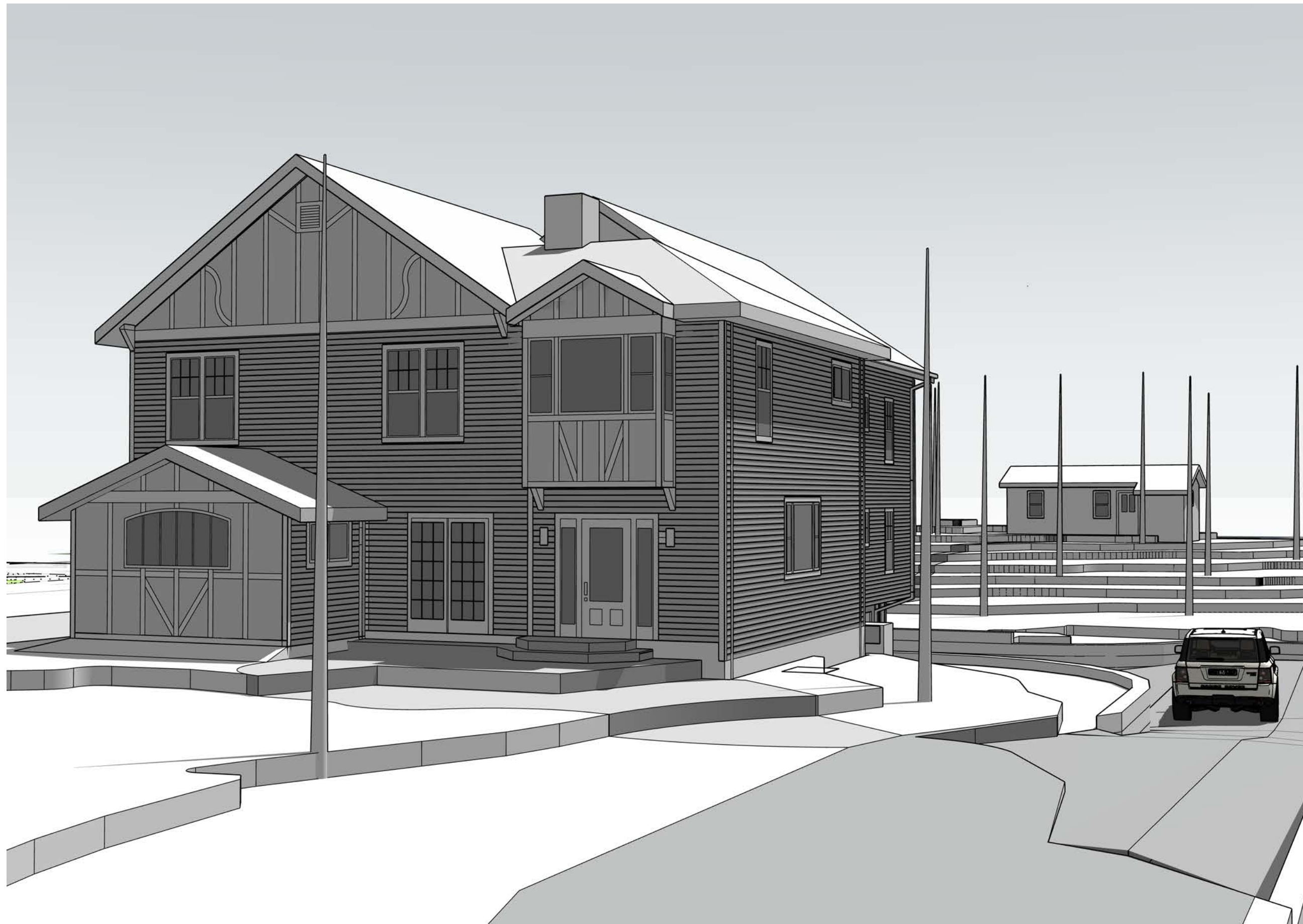
5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
 305 NORTH SAPPINGTON ROAD  
 GLENDALE, MO  
**NORTH-SOUTH SECTION**



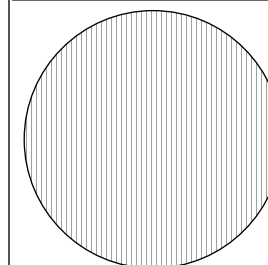
**BUILDING AREA**

		EXISTING SF AREA	ADDITION SF AREA	COTTAGE SF AREA	TOTAL SF AREA
LEVEL THREE		NA	540	NA	
LEVEL TWO		1075	1052	NA	
LEVEL ONE		1183	1052	425	
BASEMENT		50	468 *	NA	
	SUBTOTAL	2308	3112	425	= 5845
* NOTE: 1/2 GARAGE AREA					
SITE AREA =	280' X 75' =	21,000 SF			
MAX F.A.R. =	21,000 X	30%			= 6300



A-18

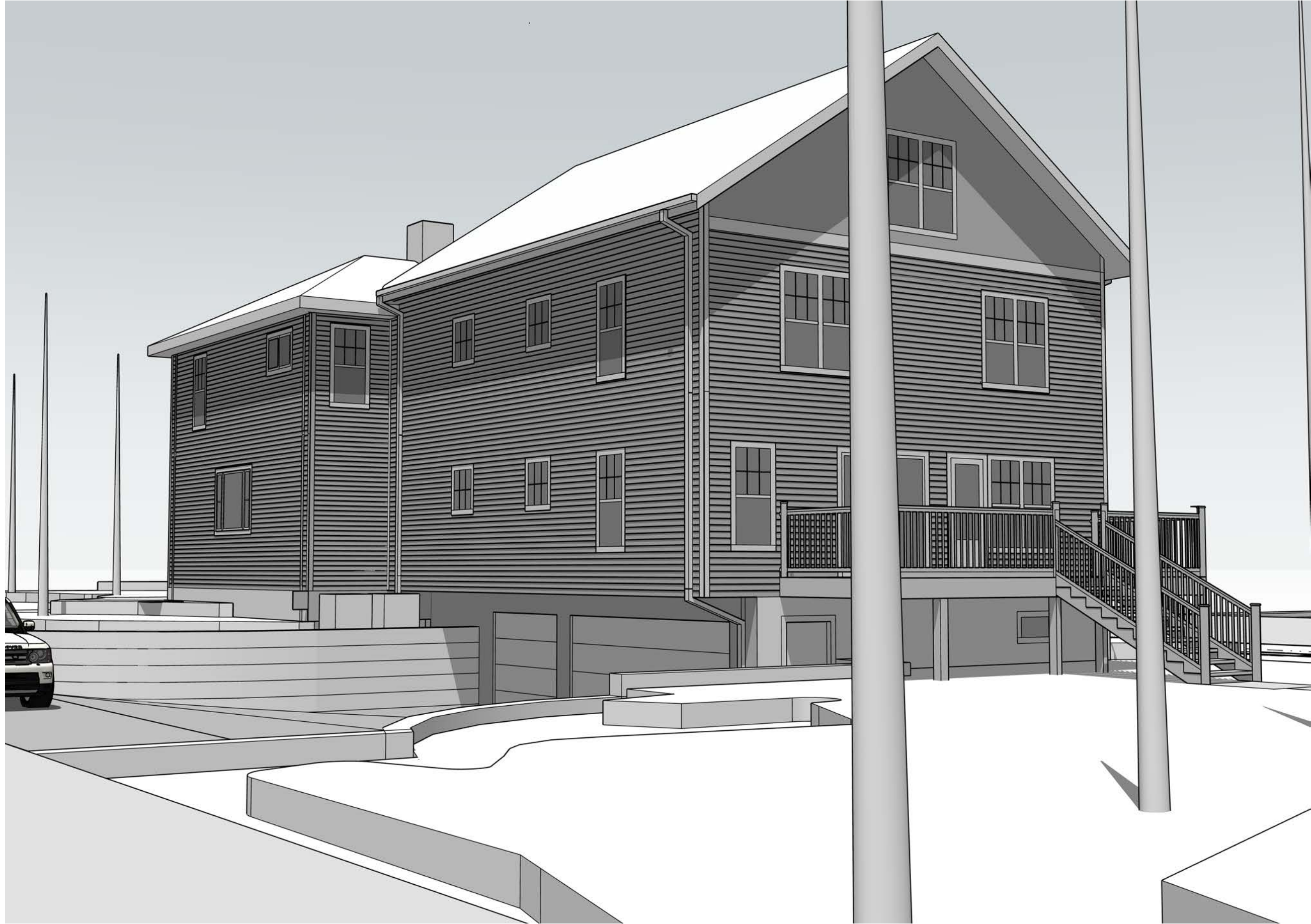
BUCKLEY DESIGN  
8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026

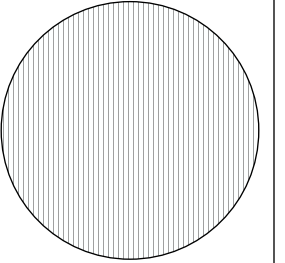
HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**NORTHEAST VIEW 1**



A-19

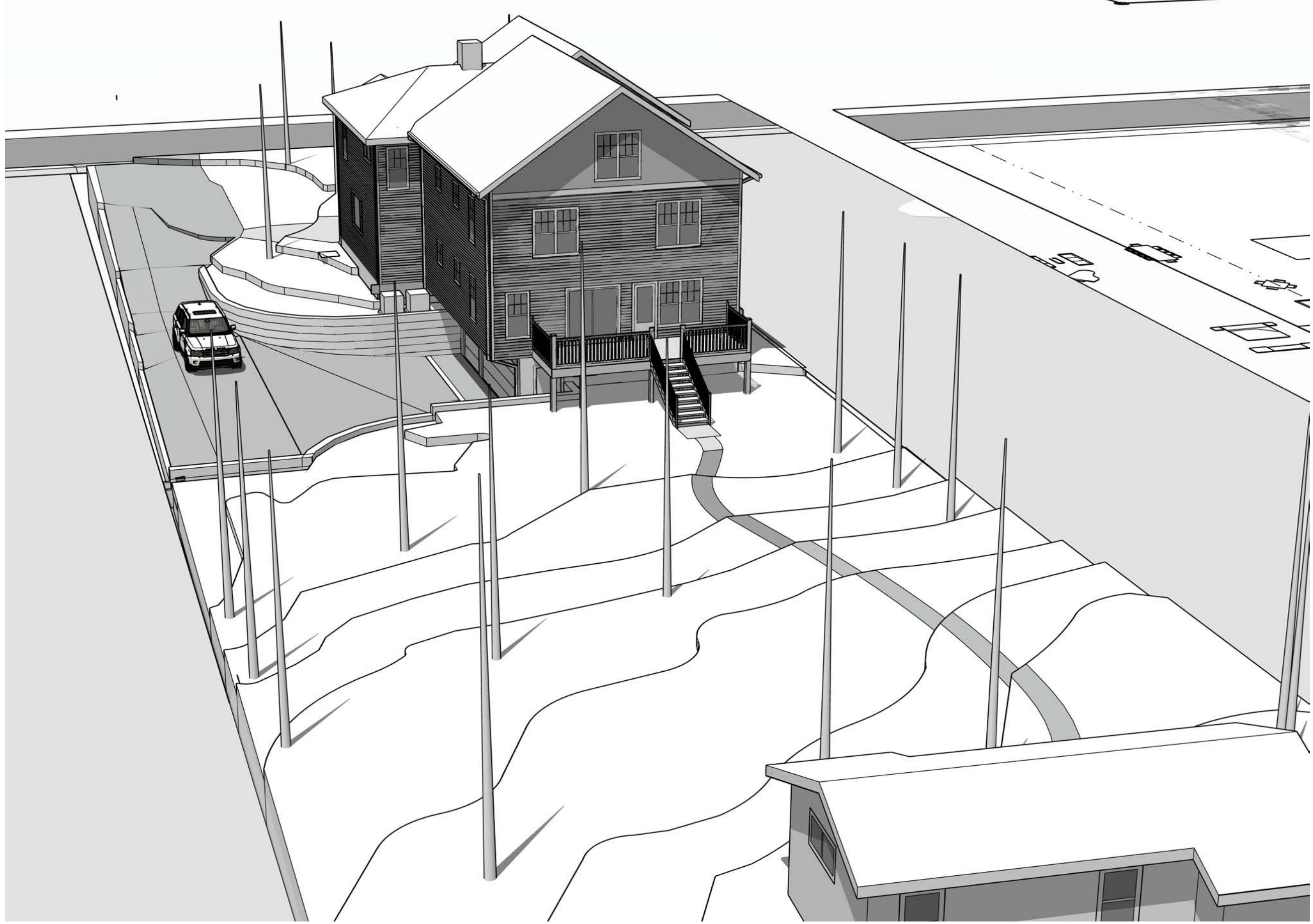
BUCKLEY DESIGN  
8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026

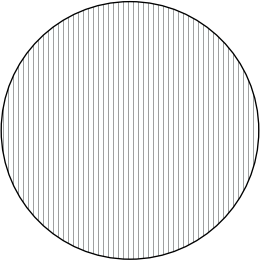
HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**NORTHWEST VIEW 2**



A-20

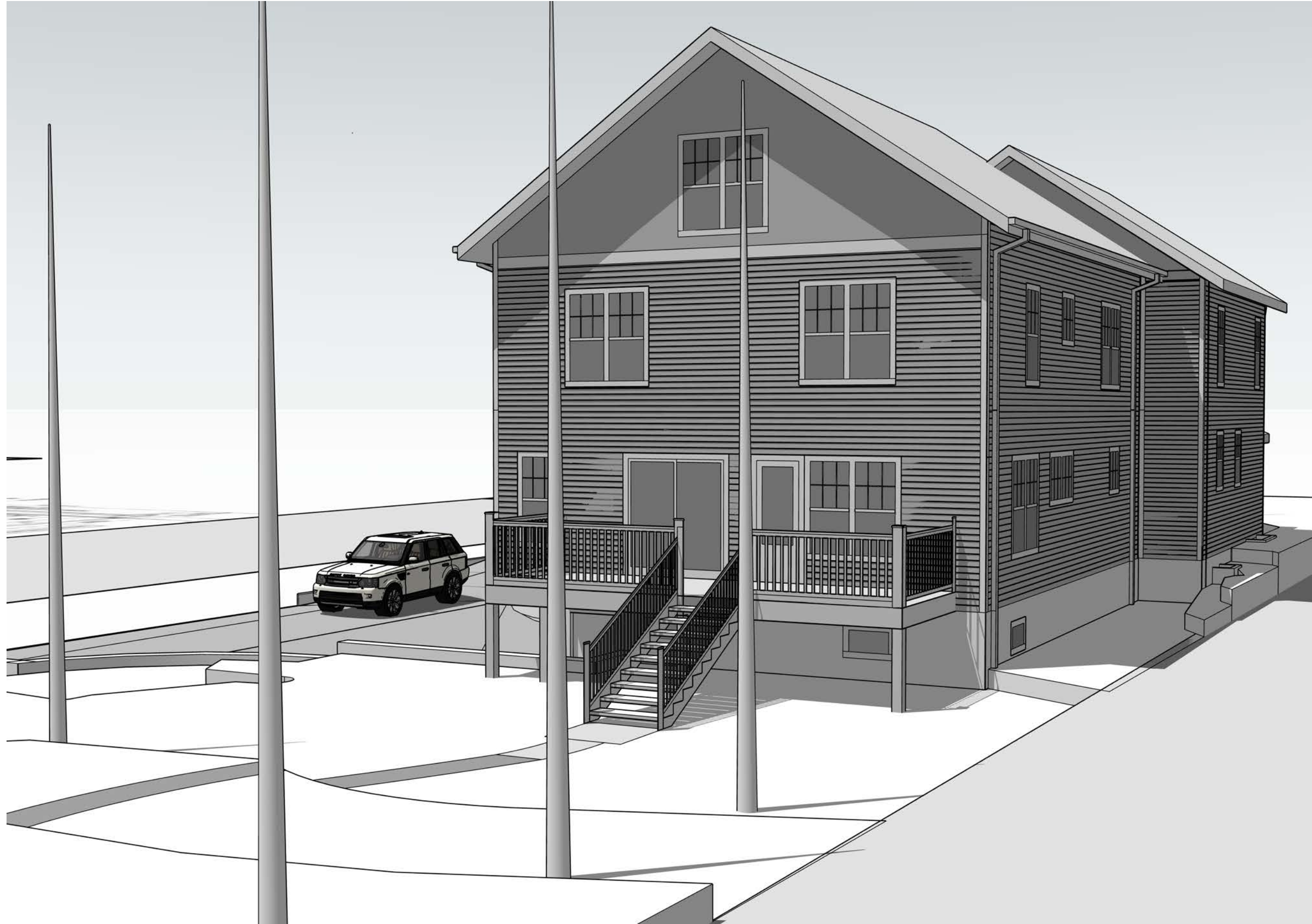
BUCKLEY DESIGN  
8949 CLAYTON ROAD  
ST LOUIS, MO 63117  
314.315.6434



5 MAY 2026

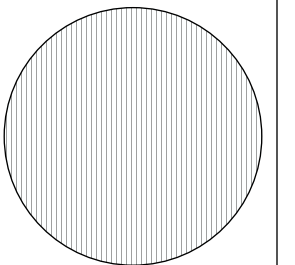
HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**NORTHWEST VIEW 3**



A-21

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5 MAY 2026

HOUSE ADDITION for JAY & GLORIA JARVIS  
305 NORTH SAPPINGTON ROAD  
GLENDALE, MO

**SOUTHWEST VIEW 4**



**Install and maintain tree protection fence as indicated on preservation plan for all trees marked save. Silt protection shall be installed in a trenchless manner within the critical root zone of any tree to be SAVED. ( I.E. woodchips, wattles, and hay bales)**

I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence is to remain erect throughout the construction project . All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

A handwritten signature in black ink, appearing to read "Nick Wibbenmeyer".

Nick Wibbenmeyer  
I.S.A. Certified Arborist  
MW 6357A



TREE STUDY  
SITE PLAN REVIEW  
3/17/2026

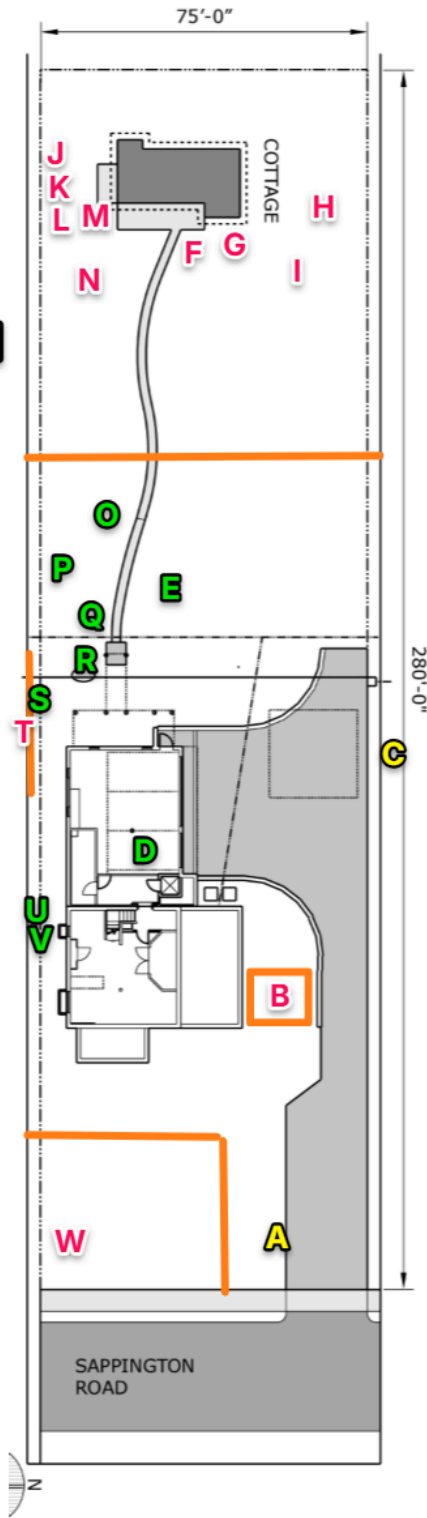
PROPERTY LOCATION: 305 N. Sappington

#	TREE SPECIES	D B H	PRESERVE/ TBR	ADJOINING LOT	COMMENTS	CONDITION
A	boxelder	16"	TBR		involved with driveway, basal wound, broken top, signs of boxelder bug <b>CONDITION</b>	Poor
B	southern magnolia	2x6"	PRESERVE		Multi-stemmed	Good
C	Siberian elm	25"	KEEP	YES	severely topped, heavy lean, exfoliating bark, major epicormic growth, buttress root across property line	Poor
D	sweet gum	35"	TBR		compartmentalized wounds throughout, storm damage, deadwood <b>PROPOSED IMPROVEMENTS</b>	Fair
E	flowering cherry	9"	TBR		lean, co-dominant at 4', surface roots, <b>PROPOSED IMPROVEMENTS</b>	Fair
F	Norway spruce	10"	PRESERVE		strong central leader	Good
G	tulip poplar	40"	PRESERVE		co-dominant at 20', deadwood, storm damage	Good
H	ginkgo	25"	PRESERVE		Multi-stemmed, included bark, vines	Fair
I	eastern redbud	8"	PRESERVE		phototropic	Good
J	sweet gum	22"	PRESERVE		girdling roots, one-sided, deadwood	Fair
K	sweet gum	17"	PRESERVE		girdling roots, one-sided, deadwood	Fair
L	sweet gum	12"	PRESERVE		managed vines on trunk, co-dominant top	Fair
M	black cherry	6"	PRESERVE		phototropic	Good
N	sweet gum	33"	PRESERVE		managed vines on trunk, surface roots, storm damage, deadwood	Fair

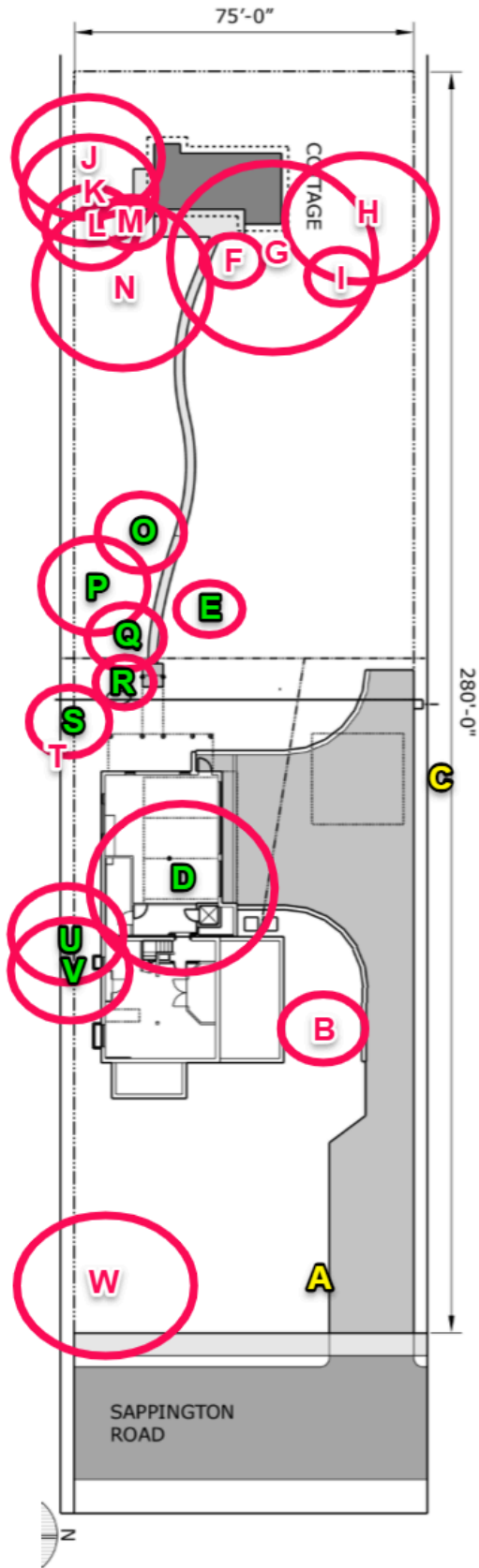
O	flowering cherry	9"	TBR		sucker growth, surface roots, deadwood, <b>PROPOSED IMPROVEMENTS</b>	Fair
P	Kentucky coffeetree	2x9	TBR		Multi-stemmed, vines on trunk, managed sucker growth <b>PROPOSED IMPROVEMENTS</b>	Good
Q	sugar maple	8"	TBR		fused root plate, strong central leader <b>PROPOSED IMPROVEMENTS</b>	Fair
R	red mulberry	6"	TBR		co-dominant at 5', deadwood <b>PROPOSED IMPROVEMENTS</b>	Fair
S	silver maple	8"	TBR	SHARED	co-dominant top <b>PROPOSED IMPROVEMENTS</b>	Fair
T	catalpa	6x5"	PRESERVE	YES	uprooted stem with matured regrowth	Fair
U	black cherry	18"	TBR	SHARED	lean, deadwood <b>PROPOSED IMPROVEMENTS</b>	Fair
V	Norway spruce	17"	TBR	SHARED	strong central leader <b>PROPOSED IMPROVEMENTS</b>	Good
W	sweet gum	29"	PRESERVE		vines on trunk, co-dominant at 30'	Fair
1	Eastern redbud	2.5"	INSTALL		installed replacement tree	
2	sugar maple	2.5"	INSTALL		installed replacement tree	
3	flowering dogwood	2.5"	INSTALL		installed replacement tree	
4	evergreen tree	2.5"	INSTALL		installed replacement tree	
5	evergreen tree	2.5"	INSTALL		installed replacement tree	
6	evergreen tree	2.5"	INSTALL		installed replacement tree	
7	evergreen tree	2.5"	INSTALL		installed replacement tree	
8	evergreen tree	2.5"	INSTALL		installed replacement tree	
9	evergreen tree	2.5"	INSTALL		installed replacement tree	
10	red maple	2.5"	INSTALL		installed replacement tree	
11	saucer magnolia	2.5"	INSTALL		installed replacement tree	
12	linden	2.5"	INSTALL		installed replacement tree	
13	flowering dogwood	2.5"	INSTALL		installed replacement tree	

TOTAL TREES ( @ or above 6" DBH )	TOTAL VIABLE TREES	TREES REMOVED	DEAD/DYING/ DISEASED REMOVE	VIABLE TREES REMOVED	# OF VIABLE INCHES REMOVED	# OF 2.5" CALIPER REPLACEMENT TREES REQUIRED (1 per 10" removed)	OR REPLACEMENT COST @ \$120 PER CALIPER INCH
<b>23</b>	<b>21</b>	<b>10</b>	<b>1</b>	<b>9</b>	<b>128</b>	<b>13</b>	<b>\$3,900</b>

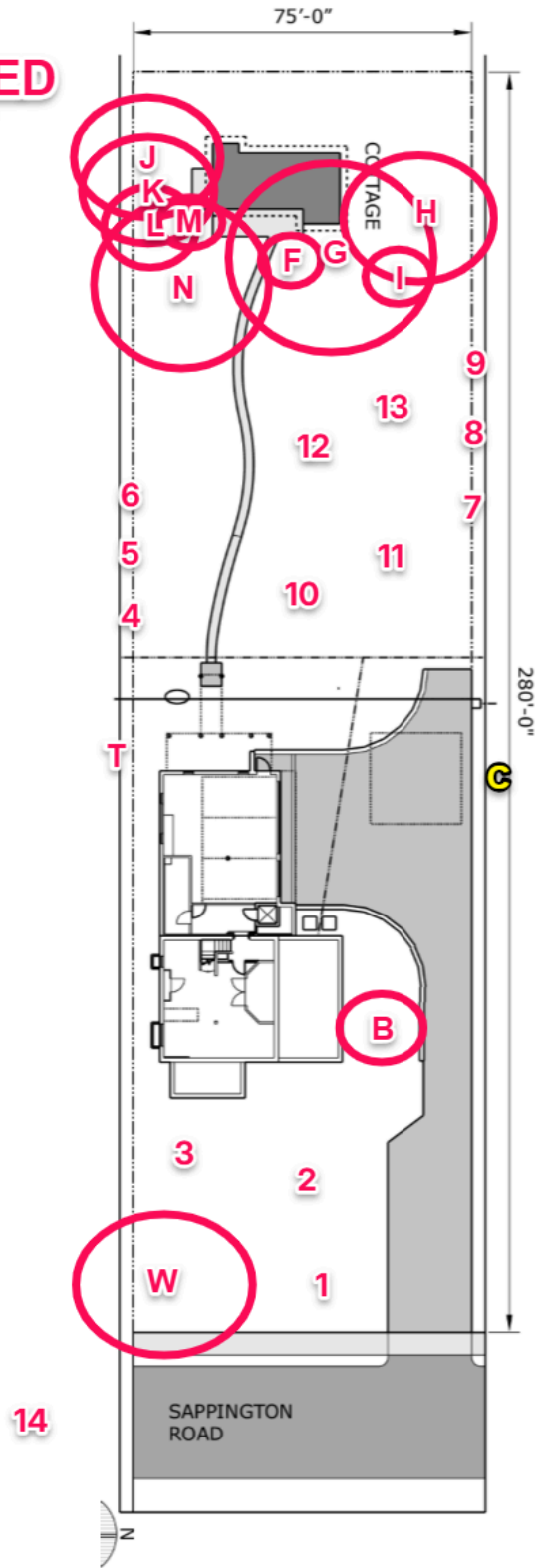
**PRESERVE**  
**TBR**  
**POOR**  
**CONDITION**  
**TREE**  
**PROTECTION**  
**FENCE** ———

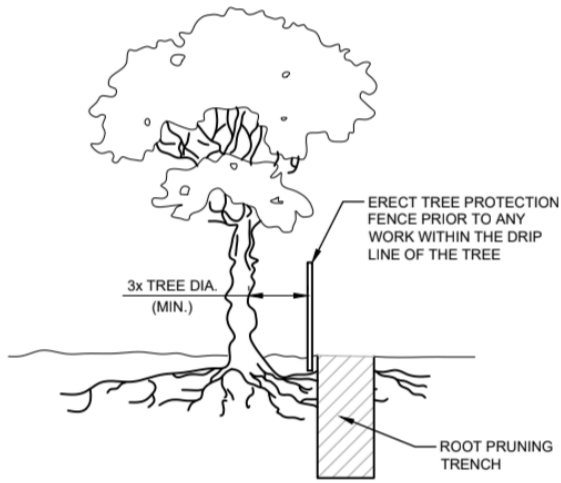


**EXISTING  
CANOPY**



**PROPOSED  
CANOPY**





NOTES:

1. ROOT PRUNING SHALL BE DONE WHENEVER THERE WILL BE GRADING, CUTTING OR COMPACTION DISTURBANCE UNDERNEATH THE DRIP LINE OF A TREE. PRIOR TO ANY WORK WITHIN DRIP LINE, THE CONTRACTOR SHALL ERECT A TREE PROTECTION FENCE AND CONTACT AN ISA CERTIFIED ARBORIST TO COORDINATE WORK. NO DISTURBANCE SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER OF THE TREE, DUE TO STABILITY CONCERNS.
2. ROOT PRUNING SHALL BE DONE WITH A SHARP TOOL, IN SUCH A WAY THAT DOES NOT PULL ON THE ROOTS, BUT LEAVES SMOOTH CUTS. DO NOT TEAR ROOTS WITH EXCAVATION EQUIPMENT. IT IS PREFERABLE TO EXPOSE THE ROOTS PRIOR TO ROOT PRUNING. AFTER PRUNING, FILL THE AREA WITH QUALITY TOPSOIL AND WATER UNTIL THOROUGHLY SOAKED.
3. ONCE EXPOSED, ROOTS MUST BE COVERED WITHIN 8 HOURS. IF ROOTS WILL BE LEFT EXPOSED FOR LONGER THAN 8 HOURS, THEY MUST BE KEPT MOIST. ONE OPTION IS TO PUT MOIST BURLAP OVER THE EXPOSED ROOTS.

NOTES (CONT.):

4. ROOT PRUNING SHALL MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS.

DIGGING PROCESS

1. THE PRUNING TRENCH SHOULD BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT.
  - 1.1. USE HAND TOOLS OR AN AIR KNIFE II) DO NOT USE AN EXCAVATOR, AS THIS WILL PULL ON THE ROOTS AND POSSIBLY DAMAGE THE TRUNK III) IF A ROOT LARGER THAN 2" IS EXPOSED, LEAVE THIS ROOT INTACT AND CONTACT LANDSCAPE SERVICES
  2. ONCE THE ROOTS ARE EXPOSED, USE A SHARP TOOL TO CLEANLY CUT ALL ROOTS WHICH ARE BETWEEN 1-2" DIAMETER, TO THE DEPTH OF THE PROPOSED DISTURBANCE
    - 2.1. APPROPRIATE TOOLS INCLUDE SHARP LOPPING SHEARS, HANDSAWS, A SHARPENED AXE, A ROOT PRUNER GRINDER, A RECIPROCATING SAW AND ANY OTHER SHARP TOOL WHICH LEAVES A CLEAN CUT
    - 2.2. YOU MAY NOT USE A CHAINSAW OR CHAIN TRENCHER TO MAKE THE FINAL CUTS
    - 2.3. ALL ROOTS SHALL BE LEFT WITH A CLEAN, SMOOTH ENDS AND NO RAGGED EDGES
3. POST PRUNING
  - 3.1. TREE ROOTS MUST BE KEPT MOIST. IF ROOTS ENDS WILL BE LEFT EXPOSED FOR MORE THAN 8 HOURS, COVER THE HOLE WITH MOIST BURLAP.
  - 3.2. FILL THE HOLE WITH HIGH QUALITY TOP SOIL, MULCH THE AREA WITH TRIPLE SHREDDED HARDWOOD TO A DEPTH OF 3", AND WATER WELL.



Jay <jwj1668@gmail.com>

## MSD Map

**Steven M Roberts** <sroberts@stlmsd.com>  
To: "jwj1668@gmail.com" <jwj1668@gmail.com>

Mon, May 4, 2026 at 8:26 AM

For your use

Steve Roberts

Development Review - East Team

Metropolitan St. Louis Sewer District


(314) 768-6310

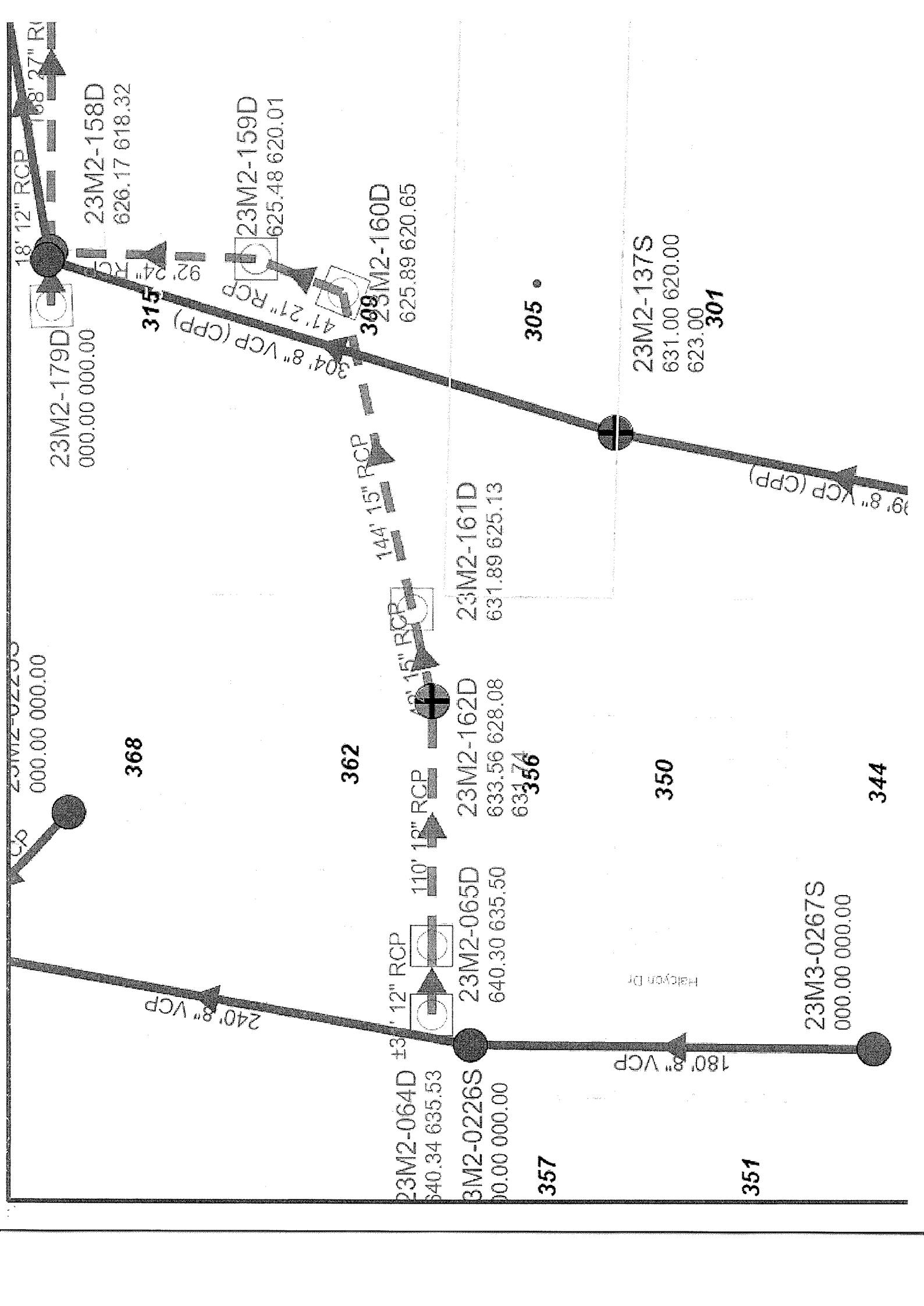


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 **msd map.pdf**  
1386K





424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772 [www.glendalemo.org](http://www.glendalemo.org)

May 4, 2026

Dear Resident,

The City of Glendale established the Architectural Review Board (ARB) by ordinance in 2006. Jay and Gloria Jarvis submitted an application to construct an addition at the rear of the existing home located at **305 N. Sappington Road**. The architect is David Buckley, and the owners are Jay and Gloria Jarvis. A copy of the architectural elevations and plans are available for review on the City's website at [www.glendalemo.org/ARBprojects](http://www.glendalemo.org/ARBprojects).

The Architectural Review Ordinance requires that adjoining property owners be notified when plans are to be reviewed by the ARB. The ARB will meet to consider the architectural plans submitted by the Jarvisses at the ARB meeting on Wednesday, May 13, 2026, at 6:00 p.m. in the City Hall Auditorium, located at 424 N. Sappington Road. This meeting is open to the public and you are welcome to attend.

If you have any questions about this upcoming meeting, please do not hesitate to contact me.

Thank you,

*Gabrielle Wesche*  
Community Engagement Officer  
[permits@glendalemo.org](mailto:permits@glendalemo.org)  
(314) 965-3600

**Adjoining Properties Receiving Letters**

Resident	Address	City, State	Zip
Current Resident/Owner	301 N. Sappington Rd.	Glendale, MO	63122
Current Resident/Owner	309 N. Sappington Rd.	Glendale, MO	63122
Current Resident/Owner	356 Halcyon Dr.	Glendale, MO	63122
Current Resident/Owner	362 Halcyon Dr.	Glendale, MO	63122
Current Resident/Owner	350 Halcyon Dr.	Glendale, MO	63122
Current Resident/Owner	308 N. Sappington Rd.	Glendale, MO	63122
Current Resident/Owner	302 N. Sappington Rd.	Glendale, MO	63122
Current Resident/Owner	314 N. Sappington Rd.	Glendale, MO	63122